



City of Cerritos Department of Community Development
Civic Center • 18125 Bloomfield Avenue
P.O. Box 3130 • Cerritos, California 90703-3130
Phone: (562) 916-1201 • Fax: (562) 916-1371
www.cerritosgis.com • www.cerritos.gov

RESIDENTIAL BLOCK WALL/FENCE APPLICATION CHECKLIST

RESIDENTIAL BLOCK WALL/FENCE APPLICATION

Submittal requirements for Residential Block Wall/Fence Application are listed below. Please include the following items:

1) PLANNING APPLICATION: Residential Block Wall/Fence Application

- ☐ Complete all sections (incomplete applications will delay processing time)
- ☐ Include all required plans/drawings/calculations listed in the application
- ☐ Homeowner's signature required
- ☐ If property is located in a homeowners association, complete HOA Approval Form at <https://www.cerritos.gov/media/ilchd5c3/hoa-approval-form.pdf>

If you have any questions, please call the Planning Division at (562) 916-1201.

2) BUILDING PERMIT APPLICATION

- ☐ Complete all sections (incomplete applications will delay processing time)
- ☐ Complete Declaration Form
 - ☐ If owner-builder, complete columns 1 and 3
 - ☐ If contractor, complete columns 2 and 3

If you have any questions, please call the Building & Safety Division at (562) 916-1209.

Submit forms together, with all required plans/drawings, at <https://forms.cerritos.gov/City-of-Cerritos/Community-Development/Application-Plan-Submittal-Form>

For more detailed information regarding the process for online submittal, please read the *Planning/Building Electronic Submittal Procedure* at <https://www.cerritos.gov/media/mjufcss3/electronic-submittal-procedure.pdf>

3) BUSINESS LICENSE REQUIREMENT

If you are a contractor, you must have a valid City of Cerritos business license. Please call the Business License Division at (562) 916-1236 to confirm active status or apply at permits.cerritos.gov

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RESIDENTIAL BLOCK WALL/ FENCE APPLICATION

Homeowner Information

Name of Homeowner: _____

Address of Job Site: _____

Phone Number: _____

Zoning (Check with City): ☐ RS-5000 ☐ RS-6500 ☐ Other _____

Contractor Information

Name of Contractor: _____

Address of Contractor: _____

Phone Number: _____

State License Number: _____

City Business License Number: _____

Type of Fence or Wall: ☐ Wood ☐ Masonry Block ☐ Wrought Iron ☐ Vinyl

Fence or Wall Height: Front Yard: _____ Rear Yard: _____ Side Yard: _____

Nature of Work (check one): Repair* _____ Replacement* _____ New _____

*Percentage (%) of block wall to be repaired or replaced: _____

***Please note that if the length of the repaired and/or replaced portion of the wall is less than 50% of the length of the wall segment within the subject property, a building permit shall not be required to be obtained concurrently with this application.**

The Homeowner agrees that all work will be done in accordance with the City of Cerritos Municipal Code, all other applicable Code provisions and consistent with the approved plans on which the permit was issued. A violation of the statements and requirements of the Municipal Code, including the failure to obtain a wall/fence permit prior to the construction of the wall/fence, may constitute an infraction punishable pursuant to Section 1.08.020 of the Cerritos Municipal Code.

**Homeowner's Signature _____ Date _____

Contractor's Signature _____ Date _____

**** Application must be signed by the homeowner prior to submittal to the City.**

(Office use only)

Community Development Approval

Approved by: _____ Date: _____ AP # _____

IMPLEMENTATION STANDARDS

Wall Thickness for All Walls:

- Four-inch (4") thick block is prohibited.
- Where a thicker block is constructed adjacent to an existing 4" block wall, the portion of the wall facing a public street shall be aligned flush with the face of the existing block wall, such that there is no visible jog in the wall. The thicker portion of the new block shall extend into the subject property.

Within the Front Yard:

- Any construction of a new or replacement wall/fence shall require the approval of the Community Development Department. All walls/fences greater than the height of thirty (30) inches shall also require a building permit prior to construction.
- Walls/fences visible from any area within the public right-of-way shall be constructed of a decorative material such as slump block, brick, wrought iron or wood grain embossed vinyl and subject to the approval of the Director of Community Development.
- Block walls may be constructed to a maximum of thirty (30) inches in height within the first five (5) feet of the property as measured from the front property line. For corner residential lots, decorative walls/fences located along the arc of the corner within the first five (5) feet from the property line shall not exceed eighteen (18) inches in height as measured from the top of the adjacent street curb.
- Walls/fences may be constructed to a maximum of five (5) feet in height when set back a minimum of five (5) feet from the front property line but they shall be designed and constructed in a manner which allows objects on the other side to be clearly seen above the height of thirty (30) inches. Walls and fences in the front yard are typically constructed with a maximum thirty (30) inches of solid material at the base of the wall or fence and thirty (30) inches of open material above. Open material such as wrought iron, or other material approved by the Director of Community Development, may be used.
- Pilasters constructed of slump block, split-face block, brick or concrete finished with stucco of the same colors as the residence, measuring a maximum of five (5) feet in height, of a cross section of no more than twelve (12) inches square and separated by a minimum distance of eight (8) feet, may be permitted when used to support a decorative fence.
- All decorative walls/fences or gates visible from the public right-of-way and that abut the side or rear yard shall incorporate decorative solid screening materials approved by the Director of Community Development.
- Painting or staining of any masonry walls/fences shall be prohibited unless the paint color is deemed by the Director of Community Development to be consistent with the natural color of the masonry material used to construct the wall/fence. Any person desiring to paint or stain a masonry wall/fence shall obtain prior approval, in writing, from the Department of Community Development.

Perimeter Walls/Fences within a Residential Subdivision

- A perimeter wall/fence located along the side or rear property line shall consist of masonry block and shall be compatible with the color of the residence and any abutting walls/fences.
- A solid block wall/fence constructed within the perimeter of a subdivision shall be a minimum height of six (6) feet and a maximum height of eight (8) feet, including wall/fence extensions, as measured from the highest ground level on either side of the wall/fence.
- A wall/fence extension shall be compatible with the color, style, and usage of the abutting property and shall be subject to the approval of the Director of Community Development.

Perimeter Walls/Fences along the Perimeter of a Residential Subdivision

- A perimeter wall/fence located along the side or rear property line shall consist of slump block, shall be compatible with the color and design of abutting walls along the perimeter of the subdivision, and shall be subject to the approval of the Director of Community Development.
- A solid slump block wall/fence constructed along the perimeter of a residential subdivision shall be a minimum height of 6'-6" and a maximum height of 8'-0", as measured from the highest ground level on either side of the wall.
- No wall extensions are permitted on the perimeter of a residential subdivision.

Chain Link Fences

- Chain link fences/gates shall not be allowed.

Decorative Gates

- Gates leading to side yards must be at least 6'-0" high and be constructed of solid materials such as wood or steel to screen the side yard from view from the public right-of-way.
- Decorative gates are prohibited from swinging out into the public right-of-way.

INFORMATION REQUIRED FOR PLAN APPROVAL

1. **Plot plan** of the entire lot including the subject residence, adjacent residences and locations of existing and proposed walls/fences (two copies-see attached example).
2. **Structural Plans** are required for block walls over thirty (30) inches in height (two copies-see attached examples).

Note: The example structural plans are provided by the City of Cerritos as an approved design for block walls. The examples are provided to serve as guidelines and stipulate minimum requirements for the construction of block walls regarding foundation, structural reinforcement, and grouting, and may

be used in lieu of hiring an engineer for structural calculations. If the applicant desires to use the provided structural plans, the attached "General Release and Waiver of Claims" must be signed and submitted to the Department of Community Development along with the application for block wall or fence approval. Walls shall not be required to be limited to this design; however, any alternative design must receive approval from the Cerritos Building and Safety Division.

3. **Common Property Line Agreement** is required for walls/fences proposed on common property lines. The agreement must be signed by the adjacent property owner(s) (see attachment).

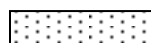
Note: If approval from adjacent property owner(s) is not possible, the wall/fence may be built within the subject property provided that a land survey signed by a Land Surveyor licensed in the State of California is submitted along with the wall/fence plan and the wall/fence, including the foundation is constructed entirely on the subject property.

4. **Submit the above information, the Homeowners Association approval if applicable,** to the City of Cerritos, Community Development Department for review.

SAMPLE PLOT PLAN/HEIGHT RESTRICTIONS



LEGEND: HEIGHT RESTRICTIONS



= THIRTY INCH (30") MAXIMUM WALL/FENCE HEIGHT IN THIS AREA



= FIVE FEET (5') MAXIMUM DECORATIVE WALL/FENCE HEIGHT IN THIS AREA

- THIRTY INCH (30") MAXIMUM HEIGHT SOLID WALL
- ABOVE THIRTY INCHES (30"), WALLS SHALL BE DESIGNED AND CONSTRUCTED WITH OPEN MATERIAL TO ALLOW FOR OBJECTS TO BE CLEARLY SEEN ON THE OTHER SIDE OF THE WALL



= SIX FEET (6') TO EIGHT FEET (8') MAXIMUM WALL/FENCE HEIGHT IN THIS AREA

COMMON PROPERTY LINE AGREEMENT SIGNATURE OF AUTHORIZATION(S)

This agreement, by the following property owners, gives permission to construct a wall on or over the common property line without restrictions.

Address of Job Site: _____

Homeowner's Signature: _____ Print Name: _____

Adjacent Property #1 Address: _____

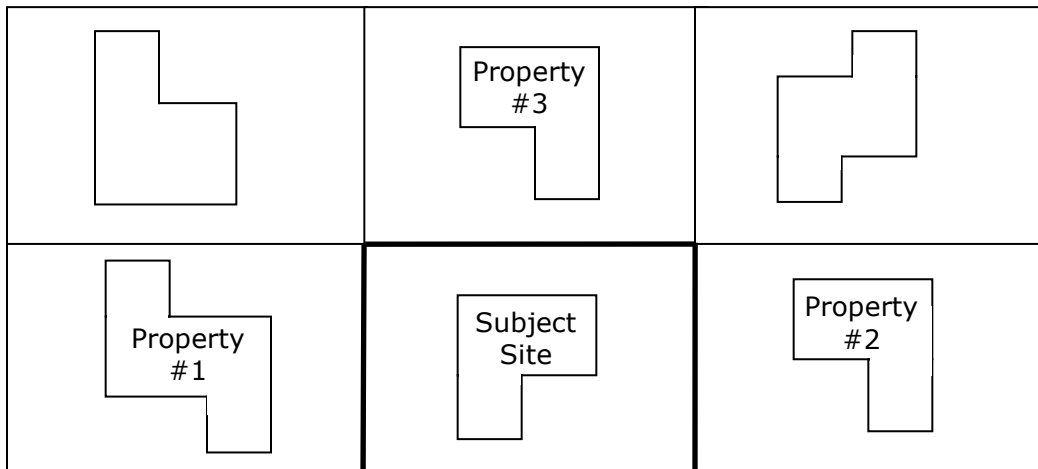
Homeowner's Signature: _____ Print Name: _____

Adjacent Property #2 Address: _____

Homeowner's Signature: _____ Print Name: _____

Adjacent Property #3 Address: _____

Homeowner's Signature: _____ Print Name: _____



City of Cerritos

Approved Block Wall Details



Adopted on January 29, 2009

GENERAL RELEASE AND WAIVER OF CLAIMS

This general release and waiver of claims ("RELEASE") is entered into by the property owner and user of the wall plans ("WALL PLANS") described below.

The WALL PLANS are standard block wall plans provided as a service by the City of Cerritos ("City") and attached to this RELEASE.

By signing this RELEASE, I certify that I am the user of the WALL PLANS and I agree with and understand the following provisions of this RELEASE:

I understand that the WALL PLANS provided by the City of Cerritos are a pre-approved design for block walls that are six (6) feet or less in height.

I understand that four-inch (4") thick block is prohibited, and I will not employ the use of 4"-thick block.

I understand that I am not required to use nor am I limited to the use of the WALL PLANS for the design of my wall. I further understand that any alternative wall design must receive approval from the City.

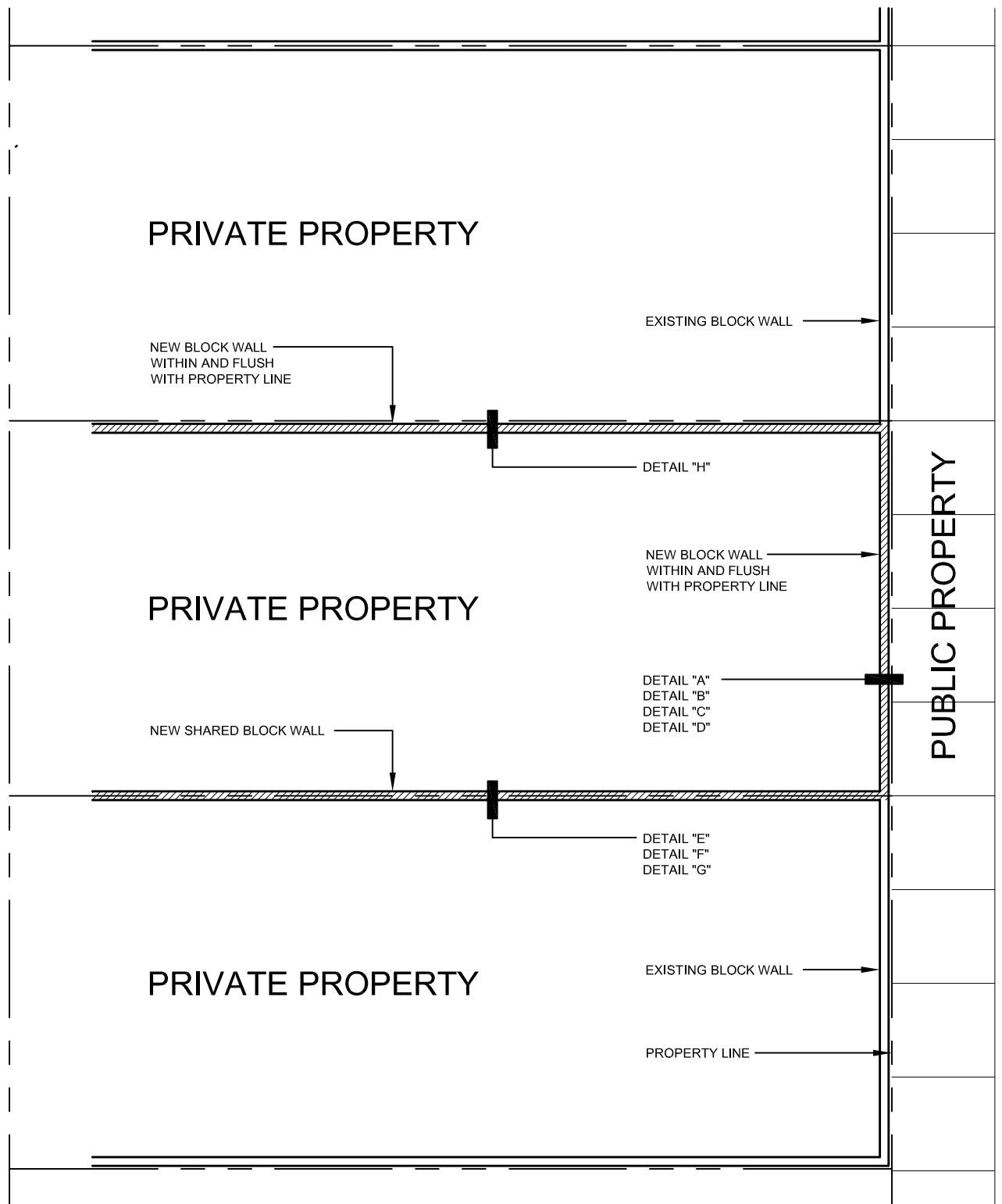
I hereby acknowledge and agree to release and hold harmless the City of Cerritos, and each of its officers, agents, and employees, from liability of whatsoever nature or form based on any misuse of or any construction defect, problem, complication or cost that results from the use of the WALL PLANS. I further acknowledge and agree to release and hold harmless the City of Cerritos, and each of its officers, agents, and employees, from any and all claims, suits, losses, liabilities, injuries, damages, expenses, and costs of any kind or nature, arising out of or in any way connected with the use of the WALL PLANS.

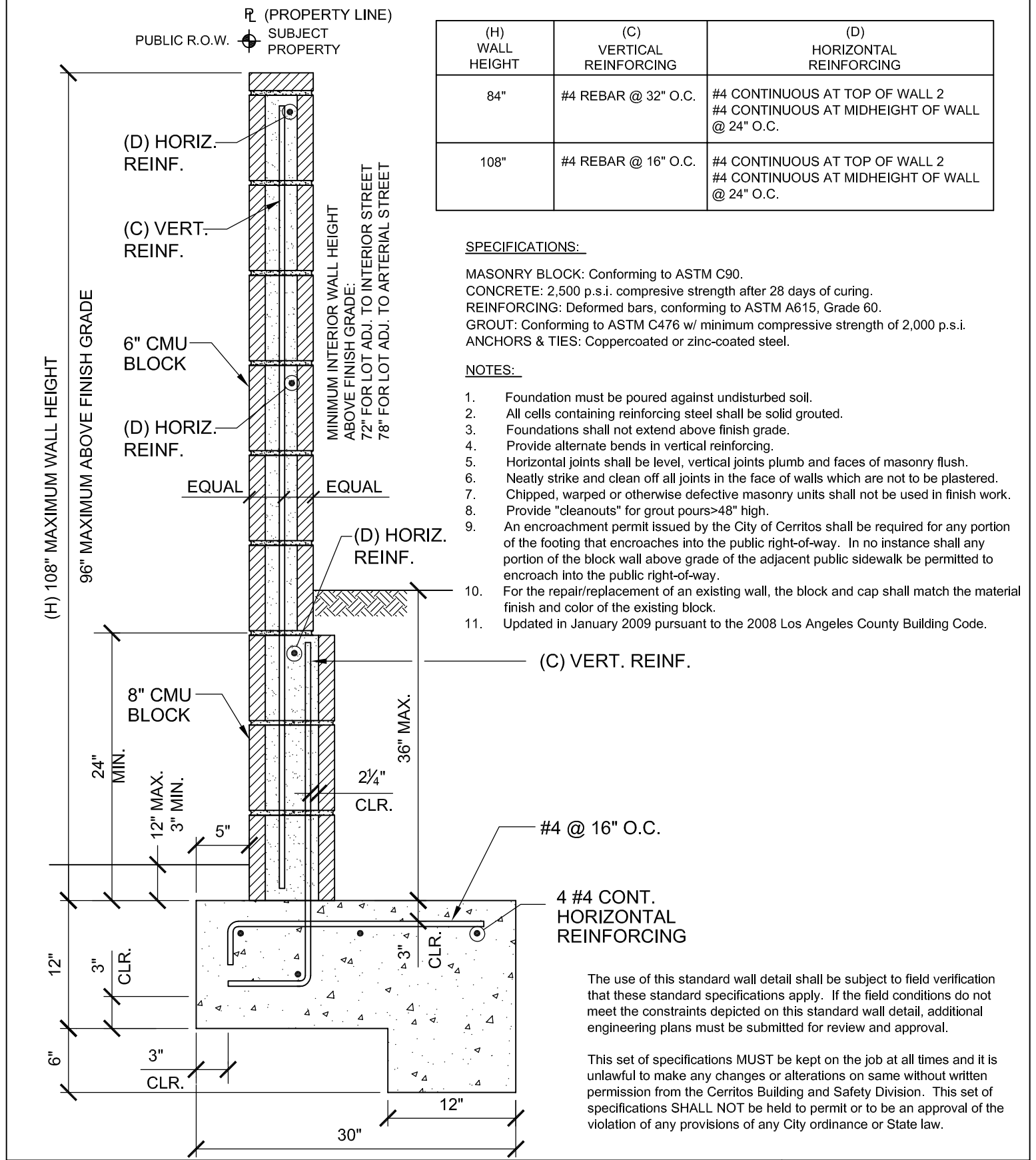
I understand that use of the WALL PLANS described above is only permitted after signing this RELEASE.

Dated: _____

Signature

Print Name





(H) WALL HEIGHT	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
84"	#4 REBAR @ 32" O.C.	#4 CONTINUOUS AT TOP OF WALL 2 #4 CONTINUOUS AT MIDHEIGHT OF WALL @ 24" O.C.
108"	#4 REBAR @ 16" O.C.	#4 CONTINUOUS AT TOP OF WALL 2 #4 CONTINUOUS AT MIDHEIGHT OF WALL @ 24" O.C.

SPECIFICATIONS:

MASONRY BLOCK: Conforming to ASTM C90.
 CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.
 REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.
 GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.
 ANCHORS & TIES: Coppercoated or zinc-coated steel.

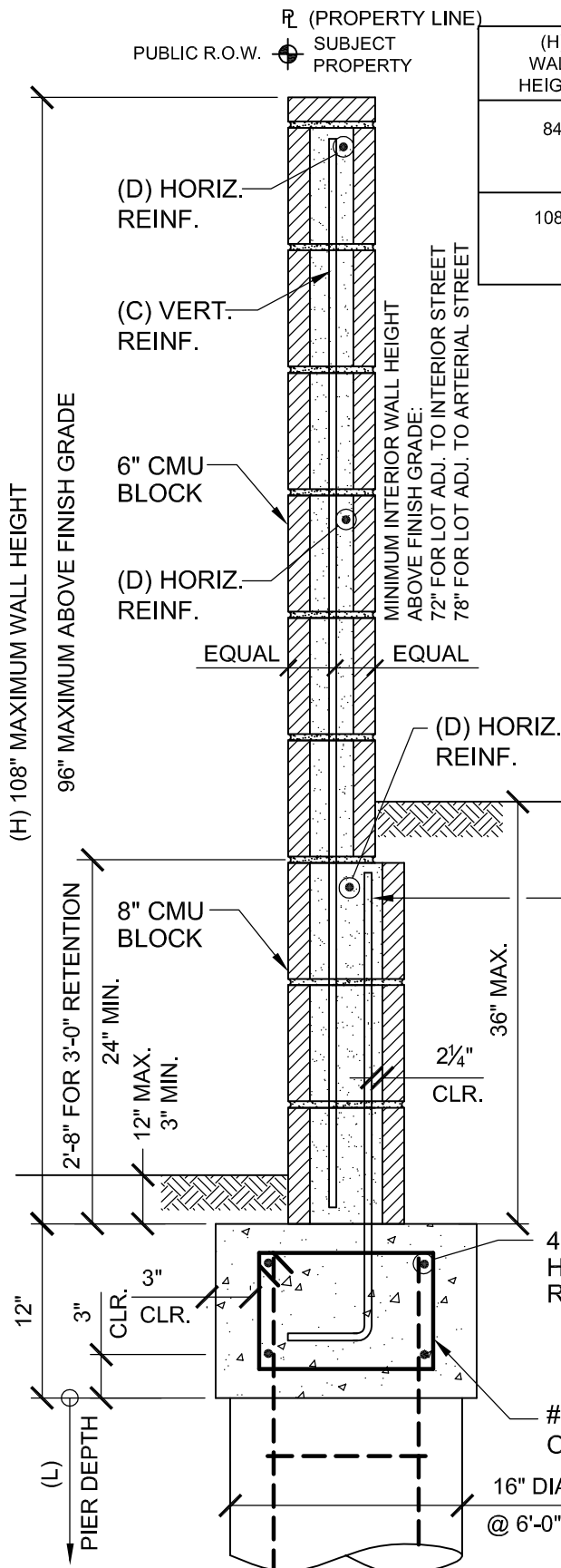
NOTES:

- Foundation must be poured against undisturbed soil.
- All cells containing reinforcing steel shall be solid grouted.
- Foundations shall not extend above finish grade.
- Provide alternate bends in vertical reinforcing.
- Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
- Neatly strike and clean off all joints in the face of walls which are not to be plastered.
- Chipped, warped or otherwise defective masonry units shall not be used in finish work.
- Provide "cleanouts" for grout pours > 48" high.
- An encroachment permit issued by the City of Cerritos shall be required for any portion of the footing that encroaches into the public right-of-way. In no instance shall any portion of the block wall above grade of the adjacent public sidewalk be permitted to encroach into the public right-of-way.
- For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
- Updated in January 2009 pursuant to the 2008 Los Angeles County Building Code.

City of Cerritos Standard Wall Detail "A"
 Retaining Condition, Adjacent to Public Right-of-Way
 L-Footing, 96" Above Grade w/ 36" Maximum Retention

SCALE: 1" = 1'-0"

CITY OF CERRITOS
 BUILDING AND SAFETY DIVISION
 18125 BLOOMFIELD AVENUE
 CERRITOS, CA 90703
 PHONE: 562.916.1209



(H) WALL HEIGHT	(L) PIER DEPTH	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
84"	66"	#4 FOOTING DOWELS @ 24" O.C. AND #4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL @ 24" O.C.
108"	74"	#5 FOOTING DOWELS @ 24" O.C. AND #4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL @ 24" O.C.

SPECIFICATIONS:

MASONRY BLOCK: Conforming to ASTM C90.

CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.

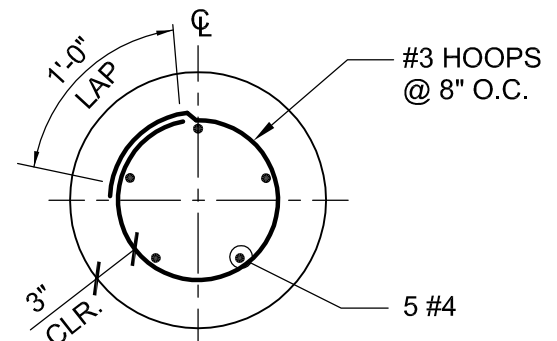
REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.

GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.

ANCHORS & TIES: Coppercoated or zinc-coated steel.

NOTES:

- Foundation must be poured against undisturbed soil.
- All cells containing reinforcing steel shall be solid grouted.
- Foundations shall not extend above finish grade.
- Provide alternate bends in vertical reinforcing.
- Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
- Neatly strike and clean off all joints in the face of walls which are not to be plastered.
- Chipped, warped or otherwise defective masonry units shall not be used in finish work.
- Provide "cleanouts" for grout pours > 48" high.
- An encroachment permit issued by the City of Cerritos shall be required for any portion of the footing that encroaches into the public right-of-way. In no instance shall any portion of the block wall above grade of the adjacent public sidewalk be permitted to encroach into the public right-of-way.
- For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
- Updated in January 2009 pursuant to the 2008 Los Angeles County Building Code.




The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval.

This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Cerritos Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

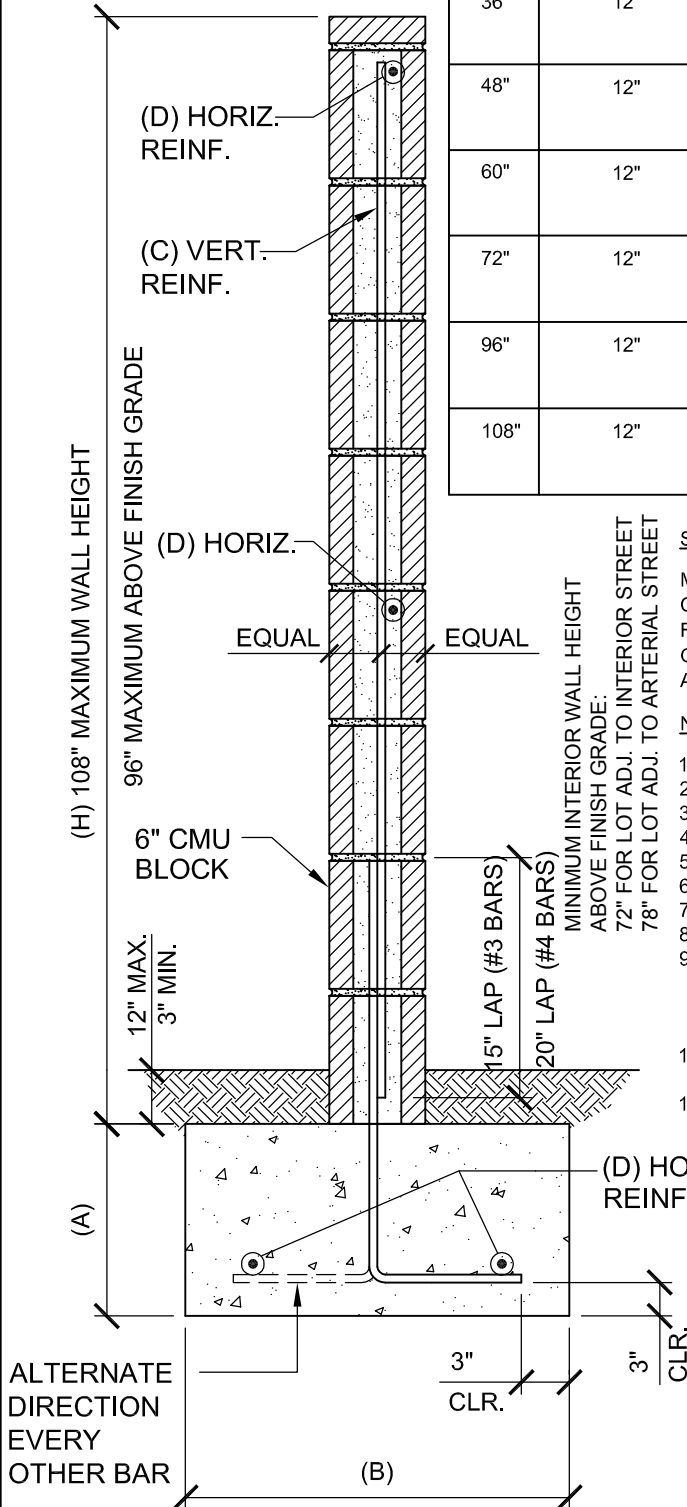
City of Cerritos Standard Wall Detail "B"
Retaining Condition, Adjacent to Public Right-of-Way
Pier-Footing, 96" Above Grade w/ 36" Maximum Retention

SCALE: 1" = 1'-0"

CITY OF CERRITOS
BUILDING AND SAFETY DIVISION
18125 BLOOMFIELD AVENUE
CERRITOS, CA 90703
PHONE: 562.916.1209

PUBLIC R.O.W.  SUBJ. PROP.

(H) WALL HEIGHT	(A) FOUNDATION DEPTH	(B) FOUNDATION WIDTH	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
30"	12"	14"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
36"	12"	14"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
48"	12"	20"	#3 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
60"	12"	24"	#4 REBAR @ 32" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
72"	12"	27"	#4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL 3#4 CONTINUOUS AT FOUNDATION
96"	12"	30"	#6 REBAR @ 16" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL 3#4 CONTINUOUS AT FOUNDATION
108"	12"	30"	#7 REBAR @ 8" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL 3#4 CONTINUOUS AT FOUNDATION



SPECIFICATIONS:

MASONRY BLOCK: Conforming to ASTM C90.
 CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.
 REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.
 GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.
 ANCHORS & TIES: Coppercoated or zinc-coated steel.

NOTES:

- Foundation must be poured against undisturbed soil.
- All cells containing reinforcing steel shall be solid grouted.
- Foundations shall not extend above finish grade.
- Provide alternate bends in vertical reinforcing.
- Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
- Neatly strike and clean off all joints in the face of walls which are not to be plastered.
- Chipped, warped or otherwise defective masonry units shall not be used in finish work.
- Provide "cleanouts" for grout pours > 48" high.
- An encroachment permit issued by the City of Cerritos shall be required for any portion of the footing that encroaches into the public right-of-way. In no instance shall any portion of the block wall above grade of the adjacent public sidewalk be permitted to encroach into the public right-of-way.
- For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
- Updated in January 2009 pursuant to the 2008 Los Angeles County Building Code.



The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval.

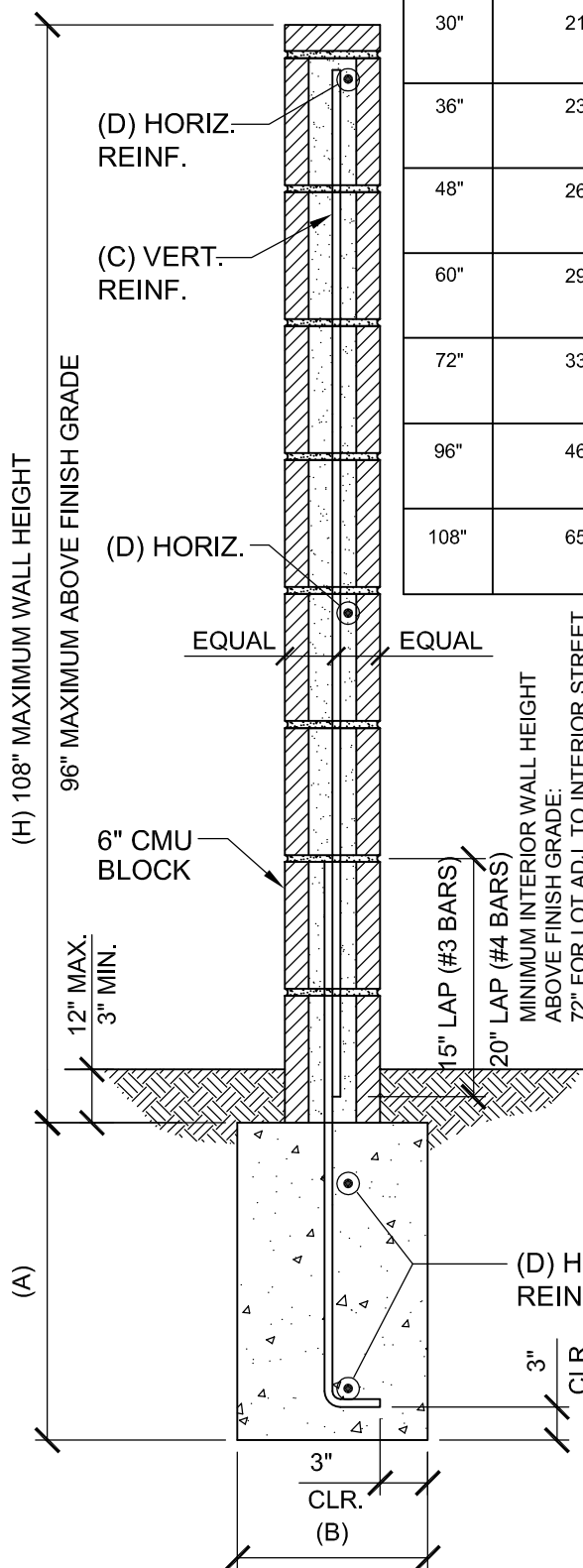
This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Cerritos Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

City of Cerritos Standard Wall Detail "C"
 Non-Retaining, Free Standing Condition, Adjacent to Public Right-of-Way
 T-Footing, 30" to 96" Above Grade

SCALE: 1" = 1'-0"

CITY OF CERRITOS
 BUILDING AND SAFETY DIVISION
 18125 BLOOMFIELD AVENUE
 CERRITOS, CA 90703
 PHONE: 562.916.1209

 (PROPERTY LINE)
 PUBLIC R.O.W.  SUBJECT PROP.



(H) WALL HEIGHT	(A) FOUNDATION DEPTH	(B) FOUNDATION WIDTH	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
30"	21"	12"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL #4 CONT. TOP & BOT. AT FOUNDATION
36"	23"	12"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL #4 CONT. TOP & BOT. AT FOUNDATION
48"	26"	12"	#3 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION
60"	29"	12"	#4 REBAR @ 32" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION
72"	33"	12"	#4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION
96"	46"	20"	#6 REBAR @ 16" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION
108"	65"	20"	#7 REBAR @ 8" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION

SPECIFICATIONS:

MASONRY BLOCK: Conforming to ASTM C90.
 CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.
 REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.
 GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.
 ANCHORS & TIES: Coppercoated or zinc-coated steel.

NOTES:

- Foundation must be poured against undisturbed soil.
- All cells containing reinforcing steel shall be solid grouted.
- Foundations shall not extend above finish grade.
- Provide alternate bends in vertical reinforcing.
- Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
- Neatly strike and clean off all joints in the face of walls which are not to be plastered.
- Chipped, warped or otherwise defective masonry units shall not be used in finish work.
- Provide "cleanouts" for grout pours > 48" high.
- An encroachment permit issued by the City of Cerritos shall be required for any portion of the footing that encroaches into the public right-of-way. In no instance shall any portion of the block wall above grade of the adjacent public sidewalk be permitted to encroach into the public right-of-way.
- For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
- Updated in January 2009 pursuant to the 2008 Los Angeles County Building Code.

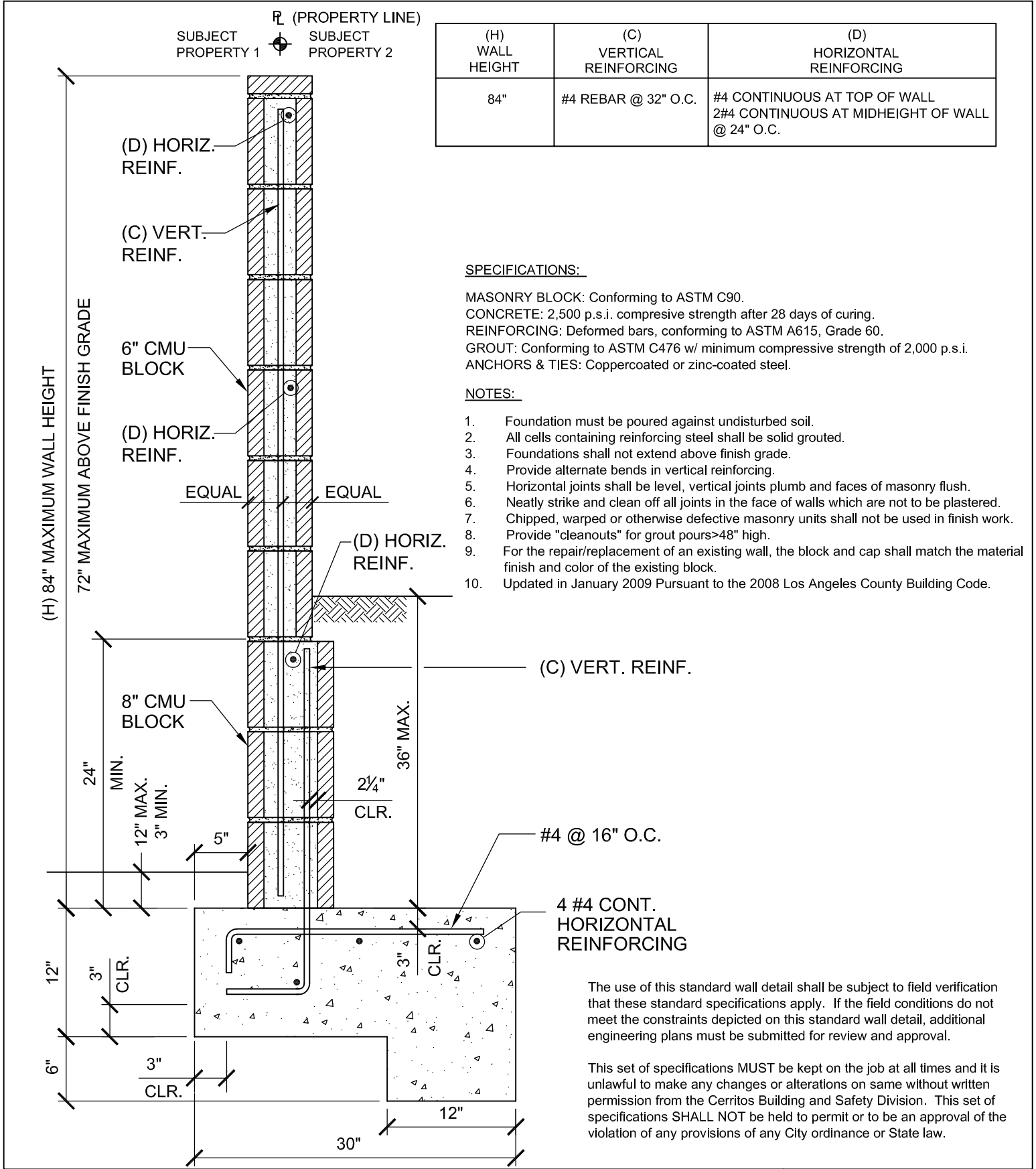
The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval.

This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Cerritos Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

City of Cerritos Standard Wall Detail "D"
 Non-Retaining, Free Standing Condition, Adjacent to Public Right-of-Way
 I-Footing, 30" to 96" Above Grade

SCALE: 1" = 1'-0"

CITY OF CERRITOS
 BUILDING AND SAFETY DIVISION
 18125 BLOOMFIELD AVENUE
 CERRITOS, CA 90703
 PHONE: 562.916.1209

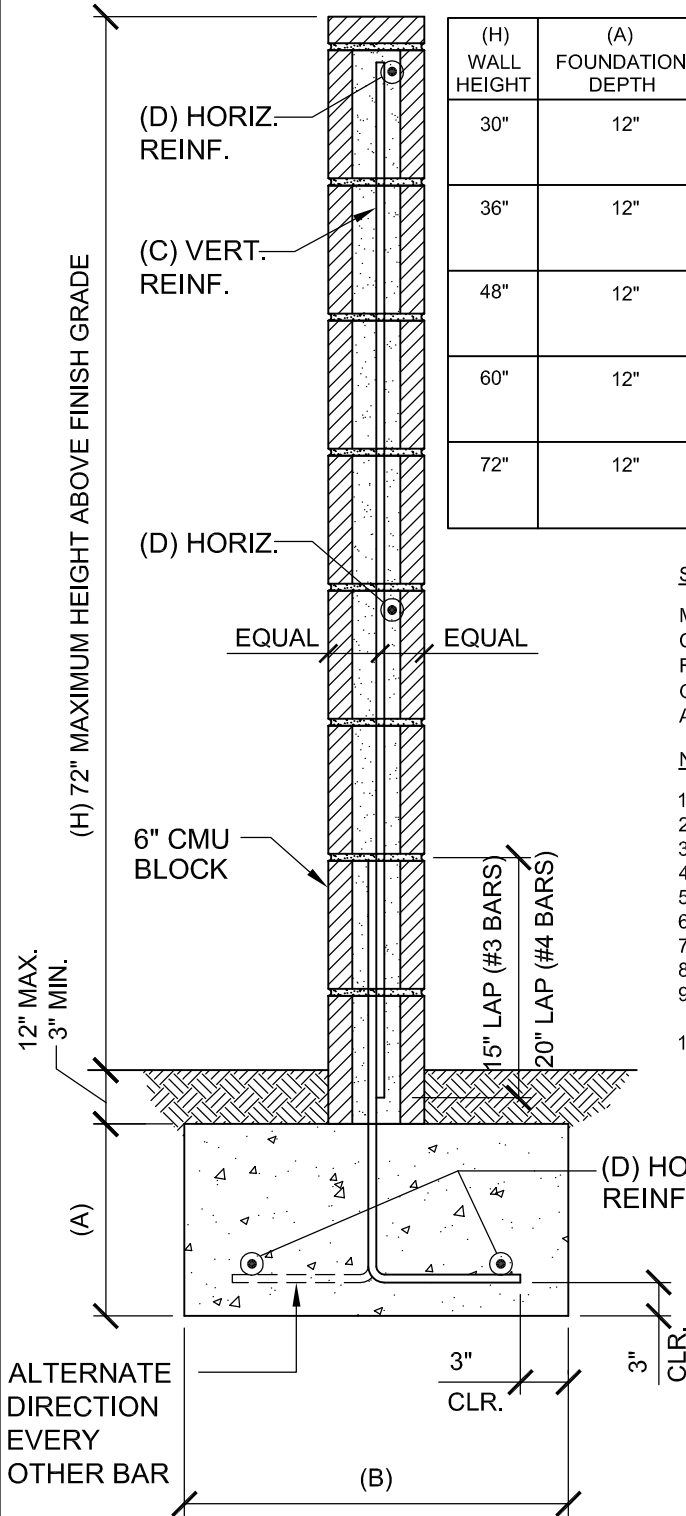


City of Cerritos Standard Wall Detail "E"
Retaining Condition, Between Two Private Properties
L-Footing, 72" Above Grade w/ 36" Maximum Retention

SCALE: 1" = 1'-0"

CITY OF CERRITOS
BUILDING AND SAFETY DIVISION
18125 BLOOMFIELD AVENUE
CERRITOS, CA 90703
PHONE: 562.916.1209

(PROPERTY LINE) \overline{P}
 SUBJECT PROPERTY 1 \bullet SUBJECT PROPERTY 2



(H) WALL HEIGHT	(A) FOUNDATION DEPTH	(B) FOUNDATION WIDTH	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
30"	12"	14"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
36"	12"	14"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
48"	12"	20"	#3 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
60"	12"	24"	#4 REBAR @ 32" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
72"	12"	27"	#4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL 3#4 CONTINUOUS AT FOUNDATION

SPECIFICATIONS:

MASONRY BLOCK: Conforming to ASTM C90.

CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.

REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.

GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.

ANCHORS & TIES: Coppercoated or zinc-coated steel.

NOTES:

- Foundation must be poured against undisturbed soil.
- All cells containing reinforcing steel shall be solid grouted.
- Foundations shall not extend above finish grade.
- Provide alternate bends in vertical reinforcing.
- Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
- Neatly strike and clean off all joints in the face of walls which are not to be plastered.
- Chipped, warped or otherwise defective masonry units shall not be used in finish work.
- Provide "cleanouts" for grout pours > 48" high.
- For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
- Updated in January 2009 Pursuant to the 2008 Los Angeles County Building Code.

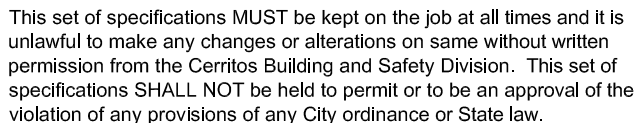
The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval.

This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Cerritos Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

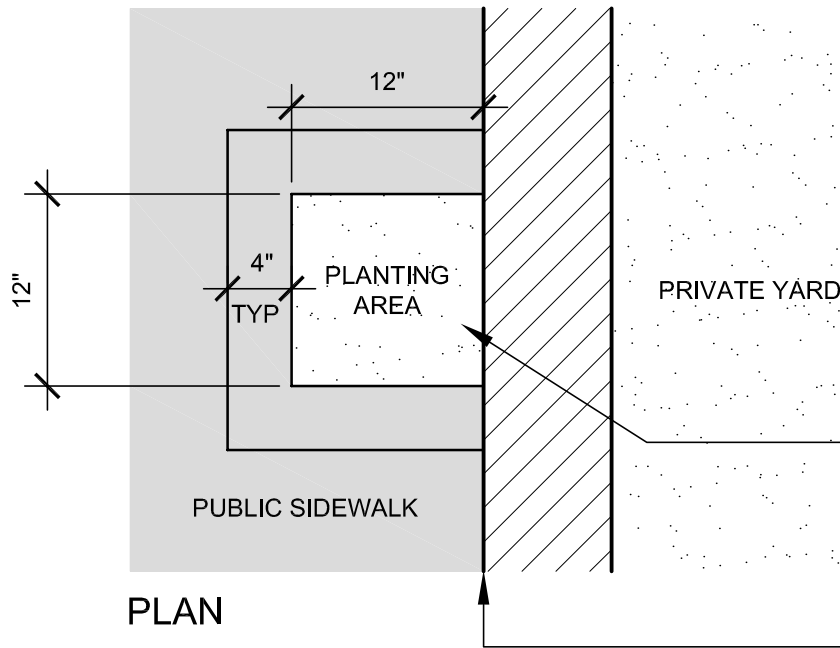
City of Cerritos Standard Wall Detail "G"
 Non-Retaining, Free Standing Condition, Between Two Private Properties
 T-Footing, 30" to 72" Above Grade

SCALE: 1" = 1'-0"

CITY OF CERRITOS
 BUILDING AND SAFETY DIVISION
 18125 BLOOMFIELD AVENUE
 CERRITOS, CA 90703
 PHONE: 562.916.1209



CITY OF CERRITOS
BUILDING AND SAFETY DIVISION
18125 BLOOMFIELD AVENUE
CERRITOS, CA 90703
PHONE: 562.916.1209



SAWCUT AND REMOVE SQUARE PLANTING AREA IN EXISTING SIDEWALK EVERY 12 FEET OF WALL LENGTH. EDGES TO BE STRAIGHT AND FREE OF CHIPS.

PROPERTY LINE / FACE OF WALL

PLANTING AREA
SPACE 12'-0" O.C.
PUBLIC SIDEWALK
SAWCUT JOINT

ONE 5 GALLON *HEDERA HELIX*,
ENGLISH IVY (10" DIA. HEALTHY PLANT)

CMU SCREEN WALL

SEE NOTE "C"

- PLANTS SHALL BE SUBJECT TO APPROVAL BY A CITY REPRESENTATIVE.
- PLANTS SHALL BE VIGOROUS, OF NORMAL GROWTH, AND FREE FROM DISEASE.
- BACKFILL FOR PLANT PITS SHALL BE DETERMINED AS A RESULT OF A SOIL SAMPLE TEST (TYPICALLY $\frac{2}{3}$ SITE SOIL AND $\frac{1}{3}$ ORGANIC AMENDMENT).
- SET CROWN OF PLANT LEVEL WITH FINISH GRADE, WATER IMMEDIATELY AFTER PLANTING, AND PLACE ONE SLOW RELEASE FERTILIZER TABLET AT MIDPOINT OF ROOTBALL.

SECTION

City of Cerritos Standard Wall Detail "V"
Vine Planting Area

NO SCALE

CITY OF CERRITOS
BUILDING AND SAFETY DIVISION
18125 BLOOMFIELD AVENUE
CERRITOS, CA 90703
PHONE: 562.916.1209

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City of Cerritos
18125 Bloomfield Avenue
Cerritos, CA 90703
(562) 916-1209

**Department of Community
Development**
Building and Safety Division

(For office use only)

Building Permit #: _____
Trade Permit #: _____
Parent Permit#: _____

Building/Plumbing/Electrical/Mechanical Permit Application

Applicant's Name: _____

Company Name (if applicable): _____

Tel. No: _____ Email: _____ Date: _____

Job Site Address: _____ Suite: _____

Work Description: _____

Is this an owner-builder project?

☐ Yes, this is an owner-builder project. As the applicant for an owner-building project, you are required to complete columns 1 and 3 of attached Declaration Form.

Is the job site address your primary residence? ☐ Yes ☐ No (If no, an owner-builder project is not permitted, and the owner must contract exclusively with a licensed contractor.)

☐ No, this is not an owner-builder project. Complete columns 2 and 3 of the attached Declaration Form.

Project Valuation: _____ APN#: _____

Project Size (sq.ft.): _____ Buildings on Lot: _____ # of Stories _____

Construction Types: _____ Occupancy Groups: _____

Type of Permit(s) Requested: ☐ Building ☐ Plumbing ☐ Electrical ☐ Mechanical

☐ **Owner/Business Name:** _____

Street Address: _____

City: _____ State: _____ Zip Code: _____

Telephone Number: _____ Email: _____

☐ **Contractor Name:** _____ **Company:** _____

Street Address: _____

City: _____ State: _____ Zip Code: _____

Telephone Number: _____ Email: _____

License No: _____ Class: _____ Expiration Date: _____

City Business License No: _____ Expiration Date: _____

(Please fill out attached Licensed Contractor's Declaration Form)

☐ **Architect/Engineer Name:** _____ **Company:** _____

Street Address: _____

City: _____ State: _____ Zip Code: _____

Telephone Number: _____

License No: _____ Class: _____ Expiration Date: _____

Building/Plumbing/Electrical/Mechanical Permit Application (continued)

PLUMBING

Code	Items	Units	Code	Items	Units
03	Backwater Valves	___ Valve(s)	45	Water closet/urinal/bidet	___ Fixture(s)
05	Backflow prevention device/sprinkler	___ Device(s)	47	Water heater	___ W.H.(s)
07	Bathtubs/showers	___ Fixture(s)	49	Water treating equipment (filter, softener)	___ System(s)
11	Clothes washer (tray/standpipe)	___ Fixture(s)	51	Low pressure gas sys. (5 outlets or less)	___ System(s)
13	Dishwashers	___ Fixture(s)	52	Fee for additional outlets >5	___ Outlet(s)
15	Drinking fountain	___ Fixture(s)	53	Medium/high pressure gas system	___ System(s)
17	Floor drains	___ Fixture(s)	54	Additional fee for each outlet	___ Outlet(s)
19	Floor sinks	___ Fixture(s)	55	Gas meter (private)	___ Meter(s)
21	Hose bibbs	___ Fixture(s)	56	Gas regulator	___ Reg(s)
23	Interceptor (clarifier)	___ System(s)	60	Drainage/vent piping repair or alter	___ System(s)
25	Lavatories/sinks	___ Fixture(s)	62	Greywater system	___ System(s)
26	Miscellaneous fixture	___ Fixture(s)	63	Water piping replacement branch/fixture	___ Fixture(s)
27	Pressure regulator—prv/water	___ Device(s)	64	Other water piping < 1 1/2 inches	___ Line(s)
29	Roof drains	___ Fixture(s)	65	Other water piping 2-3 inches	___ Line(s)
35	Solar water heating system	___ System(s)	66	Other water piping > 3 inches	___ Line(s)
39	Swimming pool trap and receptor	___ System(s)			
41	Trap primer	___ System(s)			

MECHANICAL

Code	Items	Units	Code	Items	Units
02	Refrig compressor < 100 kbtu	___ Comp(s)	31	Air inlets/outlets (area)	___ Sq. Ft.
03	Refrig compressor 101—500 kbtu	___ Comp(s)	32	Appliance vent (other)	___ Unit(s)
04	Refrig compressor > 500 kbtu	___ Comp(s)	35	Air handling unit < 2000 cfm	___ Ahu(s)
08	Furnace/heater <100 kbtu	___ Unit(s)	36	Air handling unit 2000—10000 cfm	___ Ahu(s)
09	Furnace/heater 101-500 kbtu	___ Unit(s)	37	Air handling unit > 10000 cfm	___ Ahu(s)
10	Furnace/heater > 500 kbtu	___ Unit(s)	40	Evaporative coolers	___ Unit(s)
17	Boiler < 100 kbtu	___ Boiler(s)	41	Ventilation fan (single register)	___ Fan(s)
18	Boiler 101-500 kbtu	___ Boiler(s)	42	Ventilation system (other)	___ System(s)
19	Boiler > 500 kbtu	___ Boiler(s)	43	Commercial kitchen exhaust hoods	___ Hood(s)
20	Fireplace/gas log < 100 kbtu	___ Appl(s)	44	Spray booth	___ Booth(s)
21	Fireplace/gas log 101-500 kbtu	___ Appl(s)	45	Product conveying duct system	___ System(s)
22	Fireplace/gas log > 500 kbtu	___ Appl(s)	46	Fire dampers	___ Damper(s)
30	Air inlets/outlets (each)	___ Unit(s)	47	Alteration of existing duct system	___ System(s)

ELECTRICAL

Code	Items	Quantity	Code	Item	Quantity	Code	Item	Quantity
B1	Residential new bldgs. Multifamily	___ Sq. Ft.	<u>Electric Signs</u>			<u>Motors</u>		
B2	Residential new bldgs. 1 or 2 family	___ Sq. Ft.	K1	Signs, outline lgt, one ckt	___ Sign(s)	JX	Motors, <3hp	___ Mtr(s)
C1	Swimming pools, new	___ Pool(s)	K2	Additnl, ckt within the same sign	___ Sign(s)	JY	Motors, 5hp	___ Mtr(s)
C2	Spas, hot tubs,	___ Pool(s)	<u>Power Equipment Over 3hp and Less Than 10hp</u>			JZ	Motors, 10hp	___ Mtr(s)
C3	Pool alterations, other type pools	___ Pool(s)	JA	Heat pumps	___ Appl(s)	J0	Motors, 15hp	___ Mtr(s)
D1	Carnival electrical rides or gentrs	___ Unit(s)	JB	AC units	___ Appl(s)	J1	Motors, 20hp	___ Mtr(s)
D2	Carnival mech rides, displays w/lgt	___ Unit(s)	JD	Battery chargers	___ Appl(s)	J2	Motors, 25hp	___ Mtr(s)
D3	Carnival booth lighting	___ Unit(s)	JE	Electric water heaters	___ Appl(s)	J3	Motors, 50hp	___ Mtr(s)
E1	Temporary service, power pole	___ Pole(s)	JF	Refrigeration cabinets	___ Appl(s)	J4	Motors, 100hp	___ Mtr(s)
E2	Temporary dist system for const	___ Unit(s)	JG	Electric cooking equipment	___ Appl(s)	<u>Other Power Equipment</u>		
E3	Temp pole for xmas tree lots	___ Pole(s)	JH	Electric heaters	___ Appl(s)	J7	Pwr eq w/rating > 10hp to <50hp	___ Pwr
F1	Branch circuits, 120v, 15 or 20a	___ Ckt(s)	JI	Electric generators	___ Appl(s)	J8	Pwr eq w/rating > 50hp to <100hp	___ Pwr
F2	Branch circuits, lighting, 208-277v	___ Ckt(s)	J6	Other equipment > 3hp—<10hp	___ Appl(s)	J9	Pwr eq w/rating > 100hp	___ Pwr
G1	Outlets-lighting, recept, switch	___ Outlet(s)	<u>Special Electrical Items</u>			<u>Services, Panels, Control Panels, Mcc's</u>		
G2	Lighting fixtures	___ Lgt Ftx(s)	P2	PC residential photo voltaic<10kw	___	LA	100a panels, services, mcc's	___ Pnl(s)
G3	Pole mounting light fixtures	___ Pole Fxt(s)	P3	Inverter res photo volt <10kw	___	LB	200a panels, services, mcc's	___ Pnl(s)
G4	Theatrical-type lgt fixtures	___ Lgt Ftx(s)	P4	PC residential photo volt >10kw<50kw	___	LC	225a panels, services, mcc's	___ Pnl(s)
<u>Residential Appliances Less Than 3hp</u>			P5	Inverter res photo volt >10kw<50kw	___	LD	400a panels, services, mcc's	___ Pnl(s)
HA	Forced air units (FAU)	___ Appl(s)	V2	<=10kw electric vehicle supply equip	___ #Units	LE	600a panels, services, mcc's	___ Pnl(s)
H1	Electrical ovens	___ Appl(s)	V3	>10kw electric vehicle supply equip	___ #Units	LF	800a panels, services, mcc's	___ Pnl(s)
H2	Garbage disposals	___ Appl(s)	V4	Fast electric vehicle supply equip	___ #Units	LG	1000a panels, services, mcc's	___ Pnl(s)
H3	Dishwashers	___ Appl(s)	<u>Transformers</u>			LH	1200a panels, services, mcc's	___ Pnl(s)
H4	Range hoods	___ Appl(s)	JM	Transformers, <3kva	___ Xfmr(s)	LI	1600a panels, services, mcc's	___ Pnl(s)
H5	Washing machines	___ Appl(s)	JN	Transformers, 15kva	___ Xfmr(s)	LJ	2000a panels, services, mcc's	___ Pnl(s)
H7	Exhaust fans	___ Appl(s)	JO	Transformers, 25kva	___ Xfmr(s)	LL	3000a panels, services, mcc's	___ Pnl(s)
H9	Other residential less than 3hp	___ Appl(s)	JQ	Transformers, 37.5kva	___ Xfmr(s)	LM	High voltage panels (over 600v)	___ Pnl(s)
<u>Non Residential Appliances Less Than 3hp</u>			JR	Transformers, 45kva	___ Xfmr(s)	LN	Other panels, 0 to 399 amps	___ Pnl(s)
1A	Exhaust fans	___ Appl(s)	JS	Transformers, 50kva	___ Xfmr(s)	LO	Other panels, 400 to 1000 amps	___ Pnl(s)
1B	Electric water heaters	___ Appl(s)	JT	Transformers, 75kva	___ Xfmr(s)	LP	Other panels, >1000 amps	___ Pnl(s)
1C	Lighted showcases	___ Appl(s)	JU	Transformers, 112.5kva	___ Xfmr(s)	W1	Cable trays, busways (length)	___ Feet
1D	Electric drinking fountains	___ Appl(s)	JV	Transformers, 150kva	___ Xfmr(s)	M1	Misc conduits & conductors	___ Unit(s)
1E	Vending machines	___ Appl(s)	JW	Transformers, 225kva	___ Xfmr(s)	P1	Haz locations >2000 sf total	___ Haz
1F	Laundry machines	___ Appl(s)				R1	Report review fee, # of equip	___ Eq
J5	Other non-res less than 3hp	___ Appl(s)				R2	High voltage report fee, #equip	___ HV Eq

COLUMN 1**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code): Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.)

(☐) I, as owner of the property, or my employees with wages as their sole compensation, will do (☐) all of or (☐) portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale.)

(☐) I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code. The Contractor's State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a license Contractor pursuant to the Contractors' State License Law.).

(☐) I am exempt from licensure under the Contractors' State License Law for the following reason:

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Date: _____

Signature of Property Owner or Authorized Agent

COLUMN 2**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ License No. _____

Date _____ Contractor Signature _____

WORKERS' COMPENSATION DECLARATION

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES ARE PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Policy No. _____

____ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____ Expiration Date _____

Name of Agent _____ Phone Number _____

____ I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions

Signature of Applicant

Date

JOB ADDRESS

LOCALITY

COLUMN 3**HAZARDOUS MATERIAL DECLARATION**

Will the applicant or future building occupant handle a hazardous material or a mixture containing a hazardous material equal to or greater than the amount specified on the hazardous material information guide?

Yes ☐ No ☐

Will the intended use of the building by the applicant or future building occupant require a permit for construction or modification from the South Coast Air Quality Management District (SCAQMD)? See permitting checklist for guidelines.

Yes ☐ No ☐

I have read the hazardous materials information guide and the SCAQMD permitting checklist. I understand my requirements under the Los Angeles County Code Title 2, Chapter 220 Sections 220.100 through 220.140 concerning hazardous material reporting and for obtaining a permit from the SCAQMD.

ASBESTOS NOTIFICATION

☐ Notification letter sent to SCAQMD or EPA

☐ I declare that notification of asbestos removal is not applicable to addressed project.

DECLARATION REGARDING CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a Construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code)

Lender's Name

Lender's Address

By my signature below, I certify to each of the following:
I am the property owner or authorized to act on the property owner's behalf.
I have read this application and the information I have provided is correct.
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
I authorize representatives of this county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent

Date