



City of Cerritos Department of Community Development
Civic Center • 18125 Bloomfield Avenue
P.O. Box 3130 • Cerritos, California 90703-3130
Phone: (562) 916-1201 • Fax: (562) 916-1371
www.cerritosgis.com • www.cerritos.gov

ARTERIAL BLOCK WALL REPLACEMENT PERMIT APPLICATION CHECKLIST

ARTERIAL BLOCK WALL REPLACEMENT PERMIT APPLICATION

Submittal requirements for Arterial Block Wall Replacement Permit Application are listed below.
Please include the following items:

1) PLANNING APPLICATION: Arterial Block Wall Replacement Permit Application

- ☐ Complete all sections (incomplete applications will delay processing time)
- ☐ Include all required plans/drawings/calculations listed in the application
- ☐ Homeowner's signature required
- ☐ If property is located in a homeowners association, complete HOA Approval Form at <https://www.cerritos.gov/media/ilchd5c3/hoa-approval-form.pdf>

If you have any questions, please call the Planning Division at (562) 916-1201.

2) BUILDING PERMIT APPLICATION

- ☐ Complete all sections (incomplete applications will delay processing time)
- ☐ Complete Declaration Form
 - ☐ If owner-builder, complete columns 1 and 3
 - ☐ If contractor, complete columns 2 and 3

If you have any questions, please call the Building & Safety Division at (562) 916-1209.

Submit forms together, with all required plans/drawings, at <https://forms.cerritos.gov/City-of-Cerritos/Community-Development/Application-Plan-Submittal-Form>

For more detailed information regarding the process for online submittal, please read the *Planning/Building Electronic Submittal Procedure* at <https://www.cerritos.gov/media/mjufcss3/electronic-submittal-procedure.pdf>

3) BUSINESS LICENSE REQUIREMENT

If you are a contractor, you must have a valid City of Cerritos business license.
Please call the Business License Division at (562) 916-1236 to confirm active status or apply at permits.cerritos.gov

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ARTERIAL BLOCK WALL REPLACEMENT PERMIT APPLICATION

Please Type or Print

An arterial block wall replacement permit is required for the repair and/or replacement of existing privately-owned block walls located adjacent to arterial streets within the City of Cerritos. All repaired or replaced block walls shall match the material finish and color of the existing arterial block wall. If only a portion of a block wall within a subject property is to be repaired or replaced, the new portion shall also match the height of the existing block wall.

AP# _____

Name of Homeowner: _____

Address of Job Site: _____

Assessor's Parcel Number (APN): _____

Phone Number: () _____

Zoning (Check with City): RS-5000 _____ RS-6500 _____ Other _____

Name of Contractor: _____

Address of Contractor: _____

Phone Number: () _____

State License #: _____ City Business License #: _____

Existing Block Wall Conditions:

Is the existing block wall located adjacent to an arterial street? Yes _____ No _____

Type of Block Wall Material: ☐ Concrete Masonry ☐ Slump ☐ Split Face ☐ Other

Wall Height (adjacent to an arterial street): Rear Yard: _____ Side Yard: _____

Nature of Work (check one): Repair _____ Replacement _____

Percentage (%) of block wall to be repaired or replaced*: _____

***Please note that if the length of the repaired and/or replaced portion of the wall is less than 50% of the length of the wall segment within the subject property, a building permit shall not be required to be obtained concurrently with this application.**

Encroachment Permit Required? (see page 3-4 of application): Yes _____ No _____

This section to be completed by homeowner:

Initial each line below to acknowledge and declare as follows:

- ___ I declare, under penalty of making a false statement, that I have read and understand the statements and requirements of Chapter 22.22.700, "Site Development Standards," of the Cerritos Municipal Code, and will completely abide by them.
- ___ I shall repair or replace my existing block wall or fence in accordance with the City of Cerritos Municipal Code, all other applicable Code provisions, and the approved plans on which a permit was issued.
- ___ I understand that residential block walls are private property, and the maintenance and repair of the walls are the responsibility of the property owner for which the wall is located.
- ___ A violation of the statements and requirements of the Municipal Code, including the failure to obtain a wall permit prior to the construction of the wall, may constitute an infraction punishable pursuant to Section 1.08.020 of the Cerritos Municipal Code.
- ___ I understand that if an encroachment permit is required, I will be responsible for the restoration or proper repair of the adjacent sidewalk and/or other publicly owned improvements damaged during block wall construction on my subject property.
- ___ I understand that if I repair or replace a portion of the block wall on my subject property that is on or over the common property line of my neighbor, I will be required to obtain the adjacent neighbor's authorization by means of a Common Property Line Agreement.
- ___ I understand that if I choose to use City-provided block wall plans, I will be required to complete and sign a general release and waiver of claims, thereby acknowledging and agreeing to release and hold harmless the City of Cerritos from using said details.

Homeowner's Signature* _____ Date _____

Contractor's Signature _____ Date _____

***Application must be signed by the homeowner prior to submittal to the City.**

(This section to be completed by staff)

Community Development Approval:

Approved by: _____ Date: _____

Print Name/Title: _____

Public Works Approval (if an encroachment permit is necessary):

Approved by: _____ Date: _____

Print Name/Title: _____

ENCROACHMENT PERMIT REQUIREMENTS

The following wall construction shall also require an encroachment permit and shall be subject to inspection by the Public Works Department:

- New, repaired, or replaced block walls with a below-grade footing that encroaches into the public right-of-way
- Repaired or replaced above-grade portions of existing arterial block walls that already encroach into the public right-of-way
- All wall construction that temporarily occupies a portion of the public right-of-way during the construction process.

Please note that, except for existing encroachments, in no instance shall any portion of a block wall above the grade of the adjacent public sidewalk be permitted to encroach into the public right-of-way.

If an encroachment permit is necessary for the repair or replacement of an existing block wall, please fill out the encroachment permit application on the next page.

APPLICATION FOR EXCAVATION - ENCROACHMENT PERMIT

CITY OF CERRITOS PUBLIC SERVICES DEPARTMENT 48 HOURS NOTICE REQUIRED FOR ALL INSPECTIONS				PERMIT NO.			
				ISSUED BY		DATE ISSUED	
FOR THE APPLICANT TO FILL IN				THIS PERMIT OR CERTIFIED COPY MUST BE KEPT ON THE JOB SITE TO BE SHOWN TO ANY AUTHORIZED AGENT OF THE CITY ON REQUEST.			
				DESCRIPTION OF WORK		SPECIAL DEPOSIT	
JOB LOCATION				SIDEWALK		\$	\$
PERMITTEE				CURB & GUTTER		\$	\$
MAIL ADDRESS				A.C. PAVEMENT		\$	\$
CITY		ZIP CODE		TEL. NO.		\$	\$
STATE LIC. NO.		CITY LIC. NO.		VENDOR NO.		\$	\$
OWNER				CURB DRAIN		\$	\$
ADDRESS				TREE		\$	\$
TEL. NO.				TRASH BIN		\$	\$
SPECIAL REQUIREMENTS				OTHER		\$	\$
SEE ATTACHED.				TOTAL		\$	\$
DESCRIPTION OF WORK				RECEIPT NO.			
				RETURN DEPOSIT TO:			
				APPROVAL FOR RELEASE			
STARTING DATE		EST. DATE OF COMPLETION		INSPECTOR'S SIGNATURE		DATE	

1. **NOTIFICATION:** The contractor shall have applied for and received an excavation/encroachment permit after which the Contractor shall notify the City Inspector a minimum of 48 hours prior to the start of construction. All material furnished and all work done shall be inspected by the City Engineer or his designated representative and shall conform to the Standard Drawings and Specifications of the City of Cerritos and the Standard Specifications for Public Works Construction. No work is to be performed beyond the normal 40 hour work week unless the City will provide inspection.
2. The Contractor shall contact the City and Underground Service Alert (USA) (800-422-4133) 48 hours before the excavation or work within the public right of way. Contractor will provide evidence to the City in the form of an inquiry identification number that Contractor has notified USA.
3. Any material or work installed or constructed without notification to USA & City Inspector shall be subject to removal.
4. For inspection, Call (562) 916-1219.
5. USA Ticket # _____. ☐ To be provided.
6. **Insurance:**
 1. Worker's Compensation and Employer's Liability as required by statute.
 2. General and Automobile Liability: \$1,000,000 per occurrence, naming the City of Cerritos "Additional Insured".

CONDITIONS IMPOSED: Excavation, slurry backfill and finish surface are to be in accordance with City standards. Traffic warning devices shall be placed in accordance with the WATCH Manual and be maintained at all times. NO OPEN TRENCHING WILL BE PERMITTED WITHOUT PRIOR APPROVAL FROM THE DEPUTY CITY MANAGER - PUBLIC WORKS.

APPLICANT AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY, ITS OFFICERS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, EXPENSES, LOSSES OR DEMANDS, INCLUDING COSTS AND ATTORNEY'S FEES BY REASON OF ANY CLAIMS ARISING OUT OF OR IN CONNECTION WITH THE PERFORMANCE OF APPLICANTS' OR APPLICANT'S SUBCONTRACTOR'S WORK.

Permittee's Signature and Title _____

Date _____

INFORMATION REQUIRED FOR AN ARTERIAL BLOCK WALL REPLACEMENT PERMIT

1. **Plot plan** of the entire lot including the subject residence, adjacent residences and locations of existing and proposed walls.
2. **Structural Plans** are required for block walls over thirty (30) inches in height (two copies-see attached examples).

Note: The pre-approved structural plans are provided by the City of Cerritos as an approved design for block walls. The examples are provided to serve as guidelines and stipulate minimum requirements for the construction of block walls regarding foundation, structural reinforcement, and grouting, and may be used in lieu of hiring an engineer for structural calculations. Walls shall not be required to be limited to this design; however, any alternative design must receive approval from the Cerritos Building and Safety Division.

3. **Common Property Line Agreement** is required for walls proposed on common property lines. The agreement must be signed by the affected adjacent property owners.

Note: If approval from adjacent property owner(s) is not possible, the wall/fence may be built within the subject property provided that a land survey signed by a Land Surveyor licensed in the State of California is submitted along with the wall/fence plan and provided that the wall/fence, including the foundation, is constructed entirely on the subject property.

4. **Submit the above information, and the Homeowners Association approval if applicable,** to the City of Cerritos, Community Development Department for review.

ARTERIAL BLOCK WALL DEVELOPMENT STANDARDS

Pursuant to the statements and requirements of the Cerritos Municipal Code (Chapter 22.22.700 -Site Development Standards) and the Cerritos Block Wall Repair and Replacement Policy, the following regulations shall apply to block walls located along an arterial street:

- All construction, including repair or replacement, of block walls shall require approval from the Department of Community Development.
- All repaired or replaced block walls shall match the material finish and color of the existing arterial block wall.
- A solid block wall constructed along the perimeter of a residential subdivision shall be a minimum height of six feet six inches (6'-6") and a maximum height of eight (8) feet, as measured from the ground level of the adjacent public right-of-way or sidewalk.
- If only a portion of the wall is replaced, then the replaced portion shall have a height that matches the remaining existing wall.
- No wall extensions are permitted along the perimeter of a residential subdivision adjacent to an arterial street.
- Four-inch (4") thick block is prohibited.

- Where a thicker block is constructed adjacent to an existing 4" block wall, the portion of the wall facing a public street shall be aligned flush with the face of the existing block wall, such that there is no visible jog in the wall. The thicker portion of the new block shall extend into the subject property.

Copies of Cerritos Municipal Code regulations/Cerritos Block Wall Repair and Replacement Policy may be obtained from the Department of Community Development. Additionally, the Cerritos Municipal Code can be viewed online at www.codepublishing.com/ca/cerritos.html.



COMMON PROPERTY LINE AGREEMENT – SIGNATURE OF AUTHORIZATION (S)

This agreement, by the following property owners, gives permission to construct a wall on or over the common property line without restrictions.

Subject Property (Site of Block Wall Construction):

Street Address: _____

Homeowner's Signature: _____

Print Name: _____

Adjacent Property #1:

Street Address: _____

Homeowner's Signature: _____

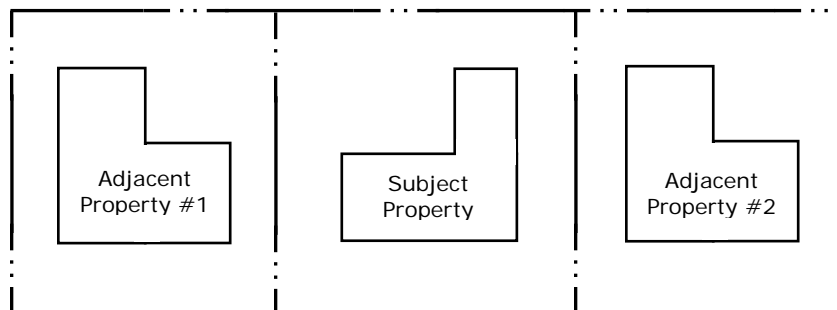
Print Name: _____

Adjacent Property #2:

Street Address: _____

Homeowner's Signature: _____

Print Name: _____



ARTERIAL STREET

City of Cerritos Approved Block Wall Details



Adopted on January 29, 2009

GENERAL RELEASE AND WAIVER OF CLAIMS

This general release and waiver of claims ("RELEASE") is entered into by the property owner and user of the wall plans ("WALL PLANS") described below.

The WALL PLANS are standard block wall plans provided as a courtesy by the City of Cerritos ("City") and attached to this RELEASE.

By signing this RELEASE, I certify that I am the user of the WALL PLANS and I agree with and understand the following provisions of this RELEASE:

I understand that the WALL PLANS provided by the City of Cerritos are a pre-approved design for block walls.

I understand that four-inch (4") thick block is prohibited, and I will not employ the use of 4"-thick block.

I understand that I am not required to use nor am I limited to the use of the WALL PLANS for the design of my wall. I further understand that any alternative wall design must receive approval from the City.

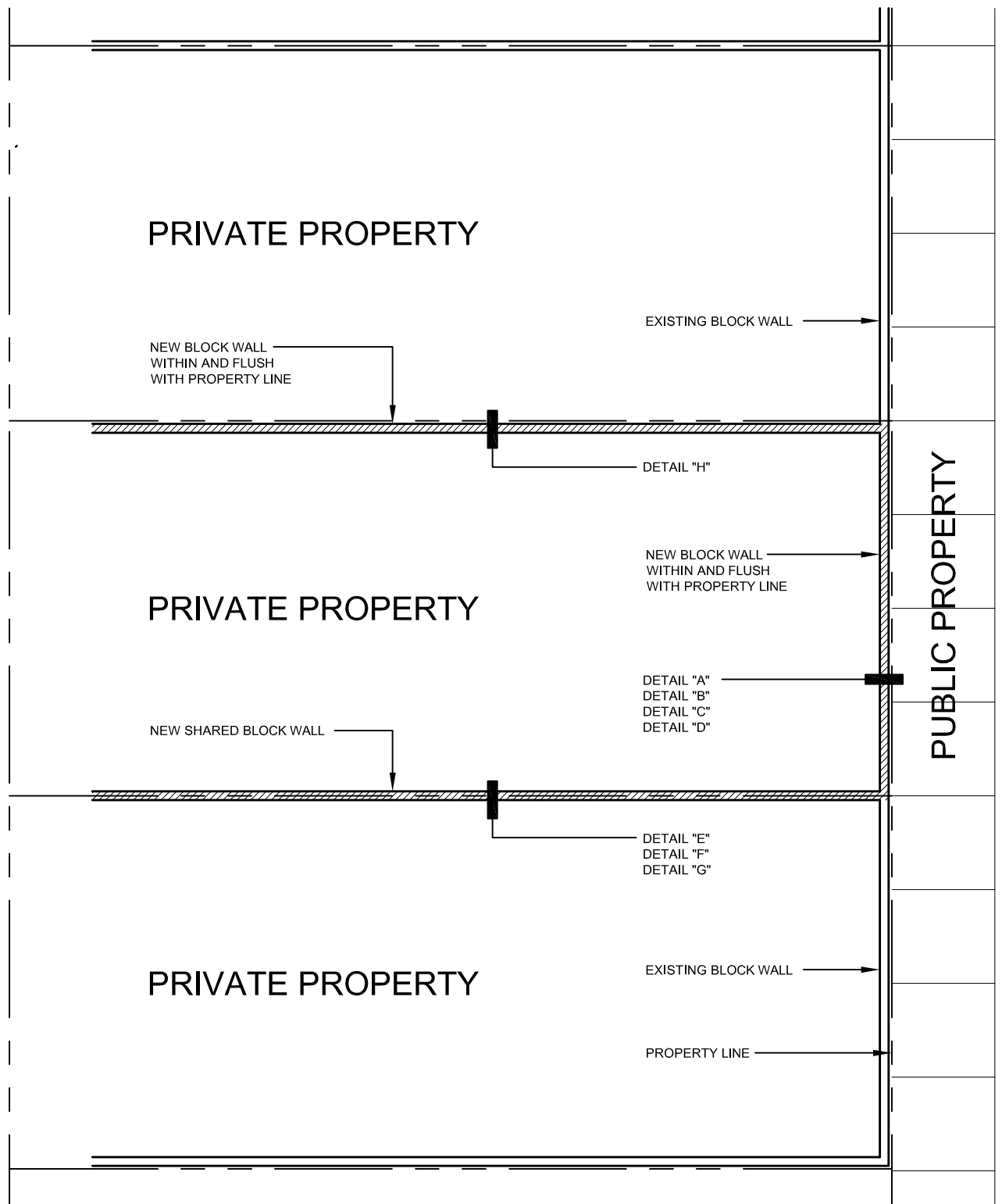
I hereby acknowledge and agree to release and hold harmless the City of Cerritos, and each of its officers, agents, and employees, from liability of whatsoever nature or form based on any misuse of or any construction defect, problem, complication or cost that results from the use of the WALL PLANS. I further acknowledge and agree to release and hold harmless the City of Cerritos, and each of its officers, agents, and employees, from any and all claims, suits, losses, liabilities, injuries, damages, expenses, and costs of any kind or nature, arising out of or in any way connected with the use of the WALL PLANS.

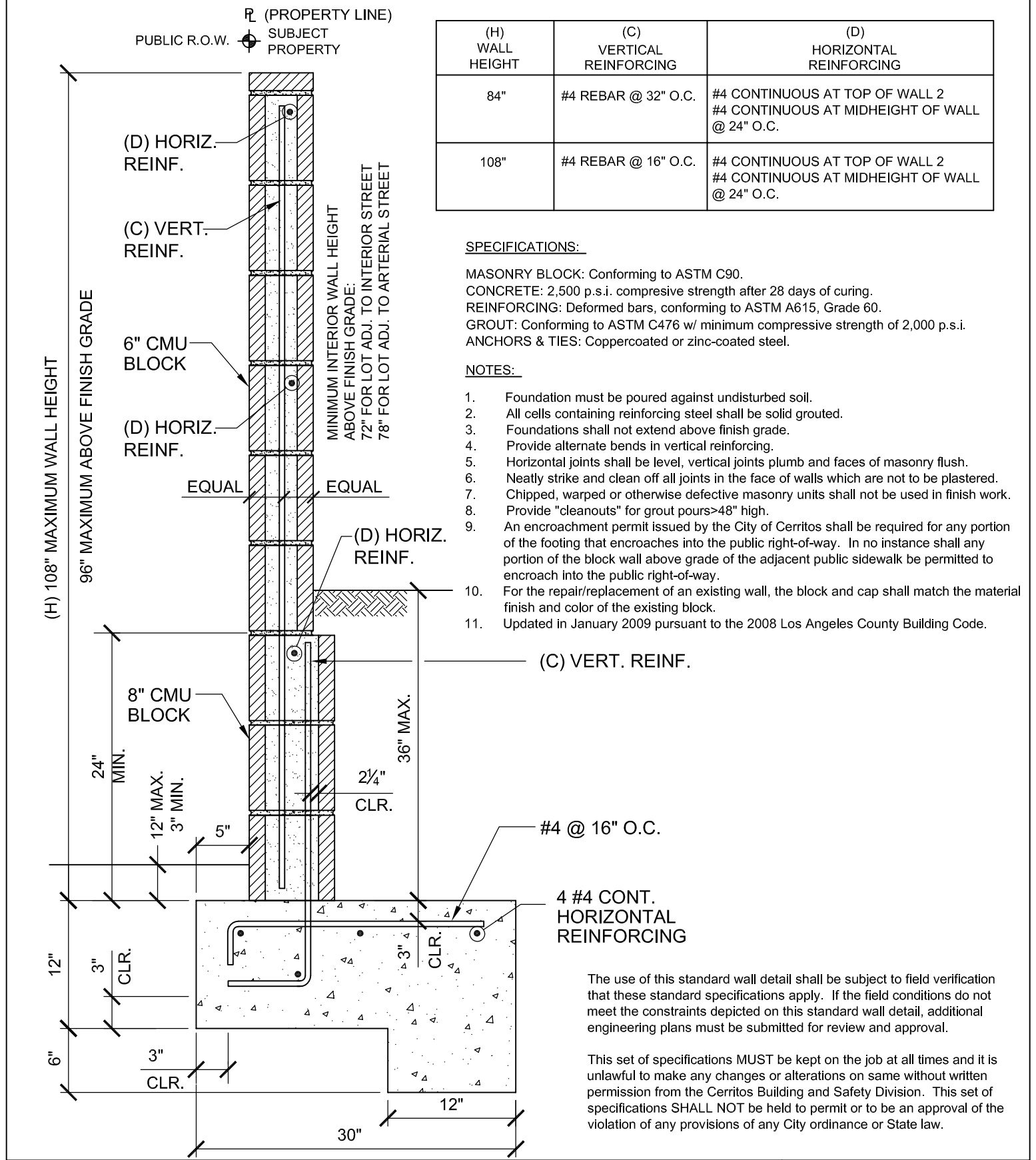
I understand that use of the WALL PLANS described above is only permitted after signing this RELEASE.

Dated: _____

Signature

Print Name





(H) WALL HEIGHT	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
84"	#4 REBAR @ 32" O.C.	#4 CONTINUOUS AT TOP OF WALL 2 #4 CONTINUOUS AT MIDHEIGHT OF WALL @ 24" O.C.
108"	#4 REBAR @ 16" O.C.	#4 CONTINUOUS AT TOP OF WALL 2 #4 CONTINUOUS AT MIDHEIGHT OF WALL @ 24" O.C.

SPECIFICATIONS:

MASONRY BLOCK: Conforming to ASTM C90.
CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.
REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.
GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.
ANCHORS & TIES: Coppercoated or zinc-coated steel.

NOTES:

- Foundation must be poured against undisturbed soil.
- All cells containing reinforcing steel shall be solid grouted.
- Foundations shall not extend above finish grade.
- Provide alternate bends in vertical reinforcing.
- Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
- Neatly strike and clean off all joints in the face of walls which are not to be plastered.
- Chipped, warped or otherwise defective masonry units shall not be used in finish work.
- Provide "cleanouts" for grout pours > 48" high.
- An encroachment permit issued by the City of Cerritos shall be required for any portion of the footing that encroaches into the public right-of-way. In no instance shall any portion of the block wall above grade of the adjacent public sidewalk be permitted to encroach into the public right-of-way.
- For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
- Updated in January 2009 pursuant to the 2008 Los Angeles County Building Code.

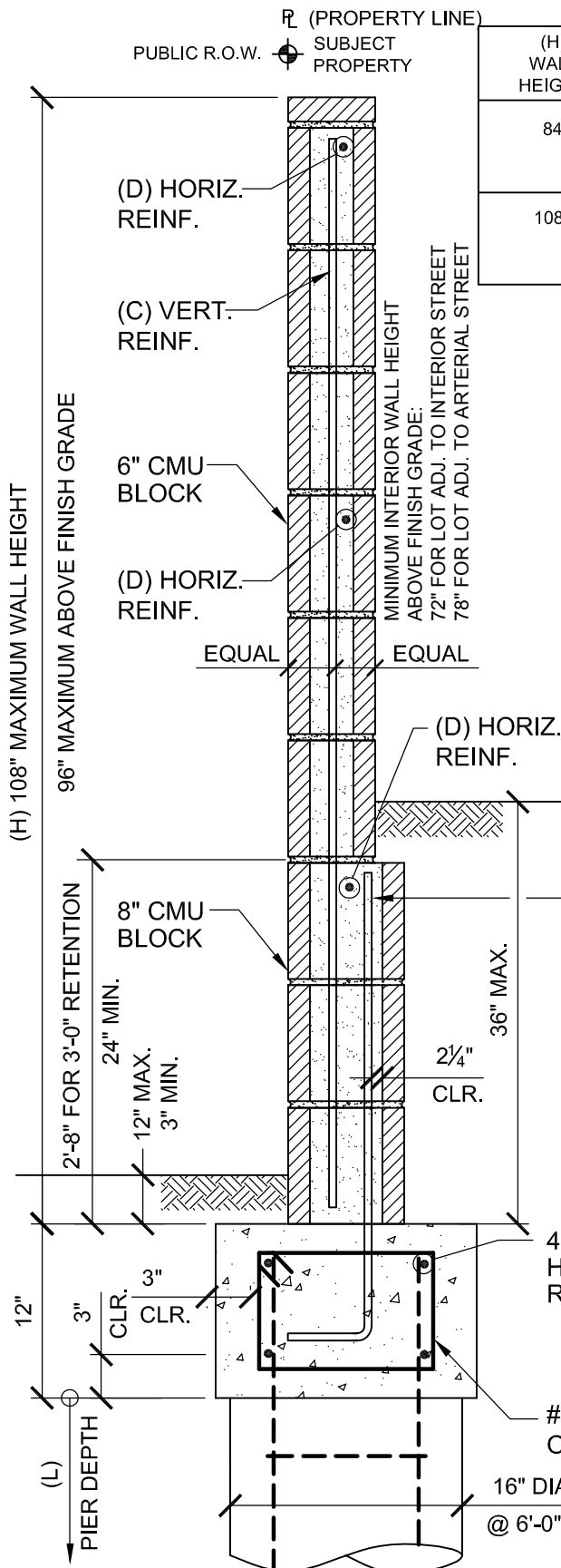
The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval.

This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Cerritos Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

City of Cerritos Standard Wall Detail "A"
Retaining Condition, Adjacent to Public Right-of-Way
L-Footing, 96" Above Grade w/ 36" Maximum Retention

SCALE: 1" = 1'-0"

CITY OF CERRITOS
BUILDING AND SAFETY DIVISION
18125 BLOOMFIELD AVENUE
CERRITOS, CA 90703
PHONE: 562.916.1209



(H) WALL HEIGHT	(L) PIER DEPTH	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
84"	66"	#4 FOOTING DOWELS @ 24" O.C. AND #4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL @ 24" O.C.
108"	74"	#5 FOOTING DOWELS @ 24" O.C. AND #4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL @ 24" O.C.

SPECIFICATIONS:

MASONRY BLOCK: Conforming to ASTM C90.

CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.

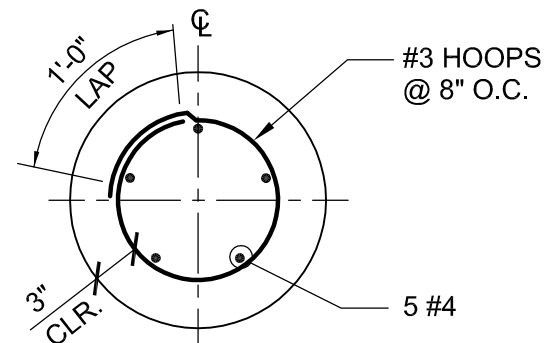
REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.

GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.

ANCHORS & TIES: Coppercoated or zinc-coated steel.

NOTES:

- Foundation must be poured against undisturbed soil.
- All cells containing reinforcing steel shall be solid grouted.
- Foundations shall not extend above finish grade.
- Provide alternate bends in vertical reinforcing.
- Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
- Neatly strike and clean off all joints in the face of walls which are not to be plastered.
- Chipped, warped or otherwise defective masonry units shall not be used in finish work.
- Provide "cleanouts" for grout pours > 48" high.
- An encroachment permit issued by the City of Cerritos shall be required for any portion of the footing that encroaches into the public right-of-way. In no instance shall any portion of the block wall above grade of the adjacent public sidewalk be permitted to encroach into the public right-of-way.
- For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
- Updated in January 2009 pursuant to the 2008 Los Angeles County Building Code.



PIER SECTION


The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval.

This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Cerritos Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

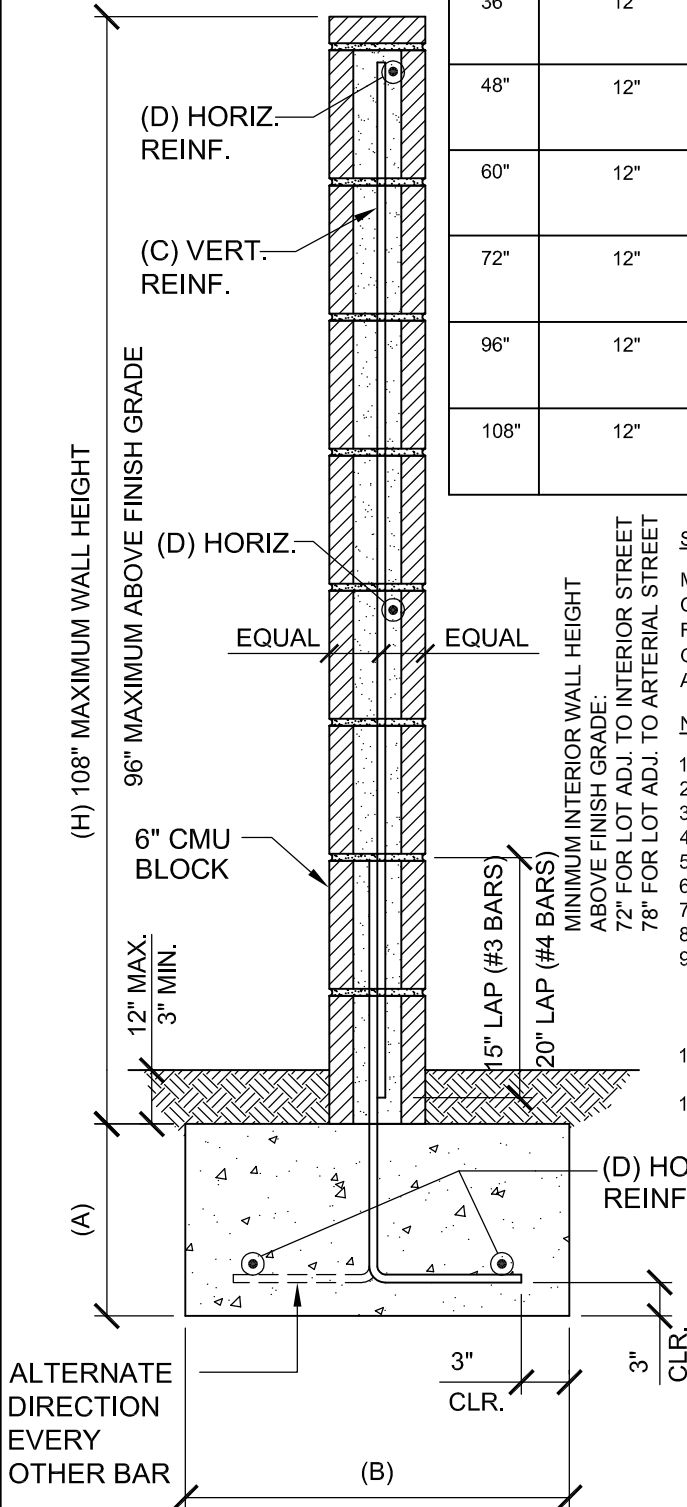
City of Cerritos Standard Wall Detail "B"
Retaining Condition, Adjacent to Public Right-of-Way
Pier-Footing, 96" Above Grade w/ 36" Maximum Retention

SCALE: 1" = 1'-0"

CITY OF CERRITOS
BUILDING AND SAFETY DIVISION
18125 BLOOMFIELD AVENUE
CERRITOS, CA 90703
PHONE: 562.916.1209

PUBLIC R.O.W.  SUBJ. PROP.

(H) WALL HEIGHT	(A) FOUNDATION DEPTH	(B) FOUNDATION WIDTH	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
30"	12"	14"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
36"	12"	14"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
48"	12"	20"	#3 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
60"	12"	24"	#4 REBAR @ 32" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
72"	12"	27"	#4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL 3#4 CONTINUOUS AT FOUNDATION
96"	12"	30"	#6 REBAR @ 16" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL 3#4 CONTINUOUS AT FOUNDATION
108"	12"	30"	#7 REBAR @ 8" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL 3#4 CONTINUOUS AT FOUNDATION



SPECIFICATIONS:

MASONRY BLOCK: Conforming to ASTM C90.

CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.

REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.

GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.

ANCHORS & TIES: Coppercoated or zinc-coated steel.

NOTES:

- Foundation must be poured against undisturbed soil.
- All cells containing reinforcing steel shall be solid grouted.
- Foundations shall not extend above finish grade.
- Provide alternate bends in vertical reinforcing.
- Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
- Neatly strike and clean off all joints in the face of walls which are not to be plastered.
- Chipped, warped or otherwise defective masonry units shall not be used in finish work.
- Provide "cleanouts" for grout pours > 48" high.
- An encroachment permit issued by the City of Cerritos shall be required for any portion of the footing that encroaches into the public right-of-way. In no instance shall any portion of the block wall above grade of the adjacent public sidewalk be permitted to encroach into the public right-of-way.
- For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
- Updated in January 2009 pursuant to the 2008 Los Angeles County Building Code.



The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval.

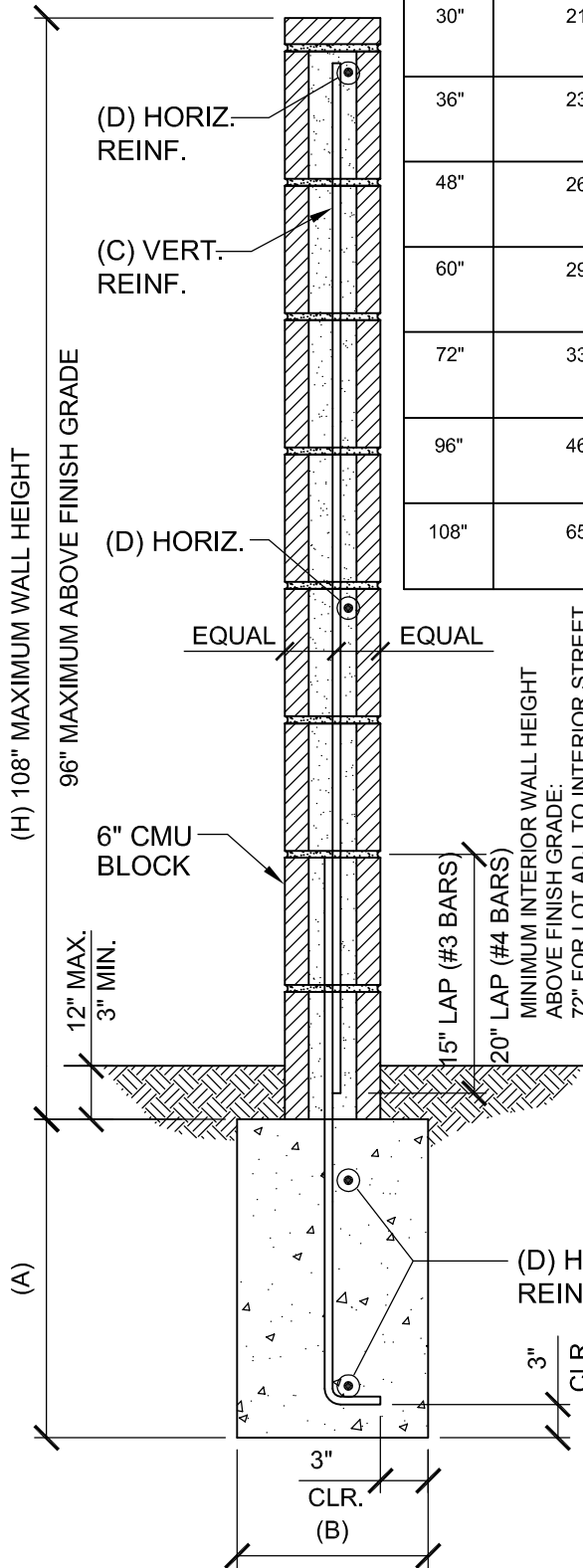
This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Cerritos Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

City of Cerritos Standard Wall Detail "C"
Non-Retaining, Free Standing Condition, Adjacent to Public Right-of-Way
T-Footing, 30" to 96" Above Grade

SCALE: 1" = 1'-0"

CITY OF CERRITOS
BUILDING AND SAFETY DIVISION
18125 BLOOMFIELD AVENUE
CERRITOS, CA 90703
PHONE: 562.916.1209

 (PROPERTY LINE)
 PUBLIC R.O.W.  SUBJECT PROP.



(H) WALL HEIGHT	(A) FOUNDATION DEPTH	(B) FOUNDATION WIDTH	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
30"	21"	12"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL #4 CONT. TOP & BOT. AT FOUNDATION
36"	23"	12"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL #4 CONT. TOP & BOT. AT FOUNDATION
48"	26"	12"	#3 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION
60"	29"	12"	#4 REBAR @ 32" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION
72"	33"	12"	#4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION
96"	46"	20"	#6 REBAR @ 16" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION
108"	65"	20"	#7 REBAR @ 8" O.C.	#4 CONTINUOUS AT TOP OF WALL 2#4 CONTINUOUS AT MIDHEIGHT OF WALL #5 CONT. TOP & BOT. AT FOUNDATION

SPECIFICATIONS:

MASONRY BLOCK: Conforming to ASTM C90.
 CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.
 REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.
 GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.
 ANCHORS & TIES: Coppercoated or zinc-coated steel.

NOTES:

- Foundation must be poured against undisturbed soil.
- All cells containing reinforcing steel shall be solid grouted.
- Foundations shall not extend above finish grade.
- Provide alternate bends in vertical reinforcing.
- Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
- Neatly strike and clean off all joints in the face of walls which are not to be plastered.
- Chipped, warped or otherwise defective masonry units shall not be used in finish work.
- Provide "cleanouts" for grout pours > 48" high.
- An encroachment permit issued by the City of Cerritos shall be required for any portion of the footing that encroaches into the public right-of-way. In no instance shall any portion of the block wall above grade of the adjacent public sidewalk be permitted to encroach into the public right-of-way.
- For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
- Updated in January 2009 pursuant to the 2008 Los Angeles County Building Code.

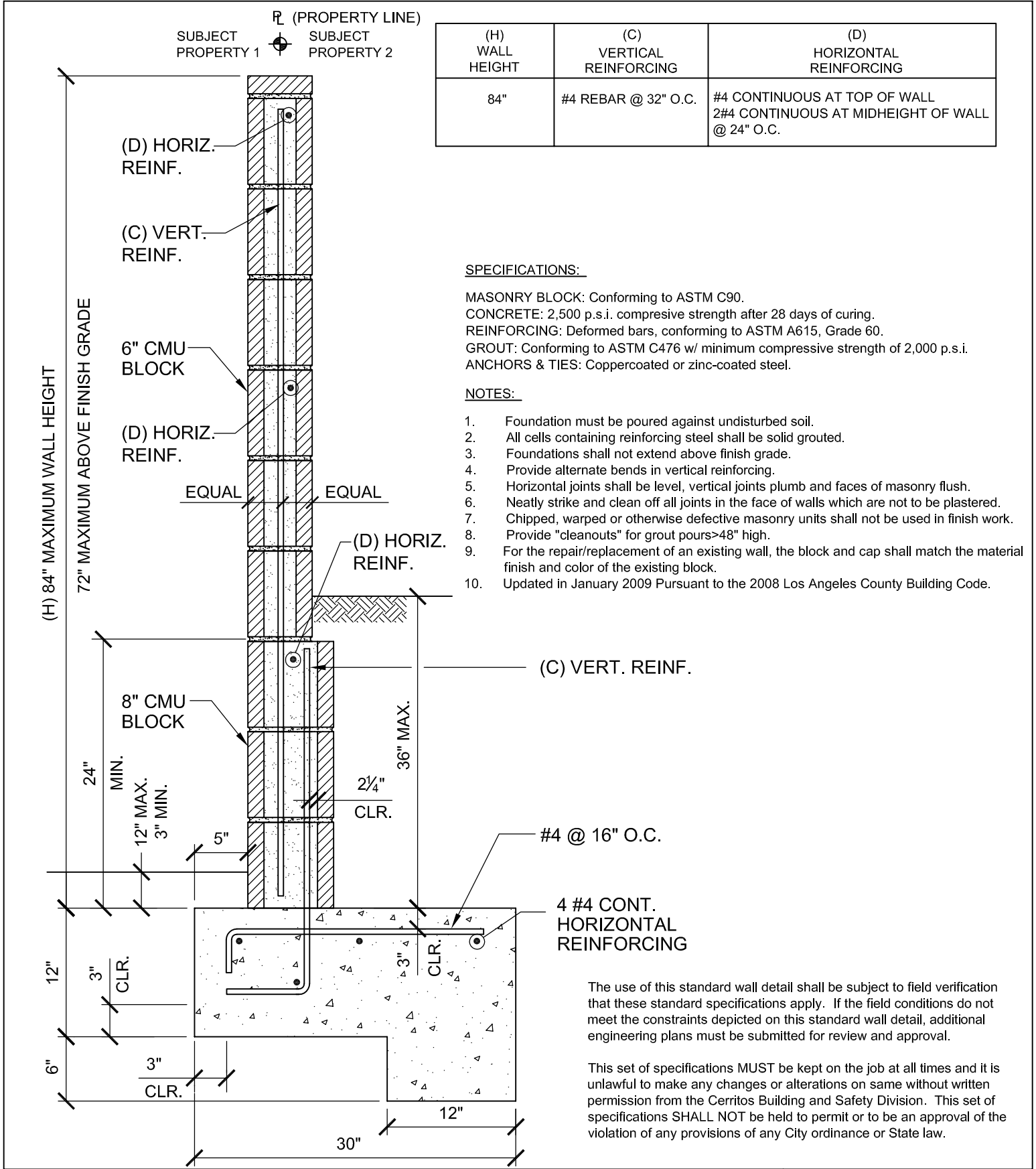
The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval.

This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Cerritos Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

City of Cerritos Standard Wall Detail "D"
 Non-Retaining, Free Standing Condition, Adjacent to Public Right-of-Way
 I-Footing, 30" to 96" Above Grade

SCALE: 1" = 1'-0"

CITY OF CERRITOS
 BUILDING AND SAFETY DIVISION
 18125 BLOOMFIELD AVENUE
 CERRITOS, CA 90703
 PHONE: 562.916.1209

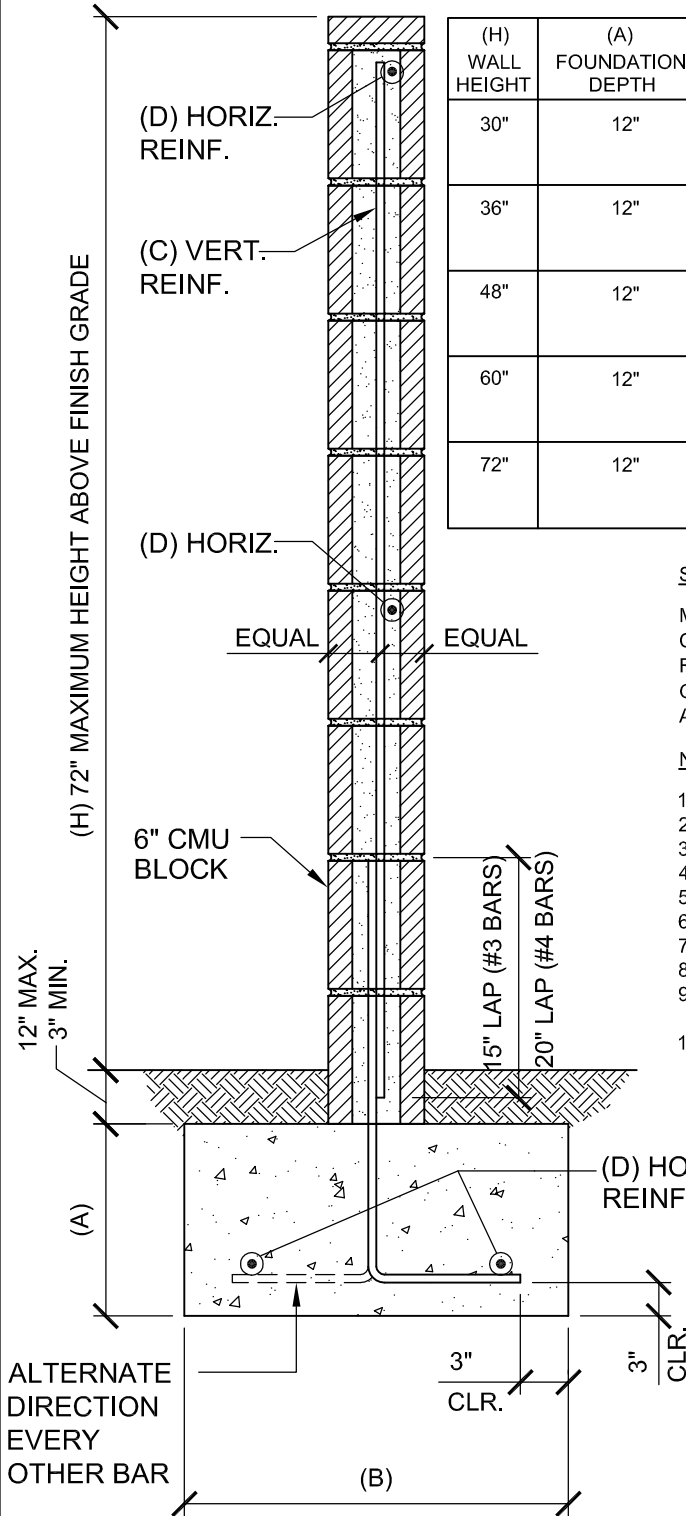


City of Cerritos Standard Wall Detail "E"
Retaining Condition, Between Two Private Properties
L-Footing, 72" Above Grade w/ 36" Maximum Retention

SCALE: 1" = 1'-0"

CITY OF CERRITOS
BUILDING AND SAFETY DIVISION
18125 BLOOMFIELD AVENUE
CERRITOS, CA 90703
PHONE: 562.916.1209

(PROPERTY LINE) \overline{P}
 SUBJECT PROPERTY 1 \bullet SUBJECT PROPERTY 2



(H) WALL HEIGHT	(A) FOUNDATION DEPTH	(B) FOUNDATION WIDTH	(C) VERTICAL REINFORCING	(D) HORIZONTAL REINFORCING
30"	12"	14"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
36"	12"	14"	#3 REBAR @ 24" O.C.	#3 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
48"	12"	20"	#3 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #3 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
60"	12"	24"	#4 REBAR @ 32" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL 2#4 CONTINUOUS AT FOUNDATION
72"	12"	27"	#4 REBAR @ 24" O.C.	#4 CONTINUOUS AT TOP OF WALL #4 CONTINUOUS AT MIDHEIGHT OF WALL 3#4 CONTINUOUS AT FOUNDATION

SPECIFICATIONS:

MASONRY BLOCK: Conforming to ASTM C90.

CONCRETE: 2,500 p.s.i. compressive strength after 28 days of curing.

REINFORCING: Deformed bars, conforming to ASTM A615, Grade 60.

GROUT: Conforming to ASTM C476 w/ minimum compressive strength of 2,000 p.s.i.

ANCHORS & TIES: Coppercoated or zinc-coated steel.

NOTES:

- Foundation must be poured against undisturbed soil.
- All cells containing reinforcing steel shall be solid grouted.
- Foundations shall not extend above finish grade.
- Provide alternate bends in vertical reinforcing.
- Horizontal joints shall be level, vertical joints plumb and faces of masonry flush.
- Neatly strike and clean off all joints in the face of walls which are not to be plastered.
- Chipped, warped or otherwise defective masonry units shall not be used in finish work.
- Provide "cleanouts" for grout pours > 48" high.
- For the repair/replacement of an existing wall, the block and cap shall match the material finish and color of the existing block.
- Updated in January 2009 Pursuant to the 2008 Los Angeles County Building Code.

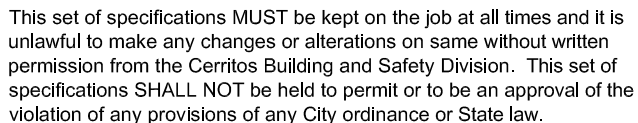
The use of this standard wall detail shall be subject to field verification that these standard specifications apply. If the field conditions do not meet the constraints depicted on this standard wall detail, additional engineering plans must be submitted for review and approval.

This set of specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the Cerritos Building and Safety Division. This set of specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any City ordinance or State law.

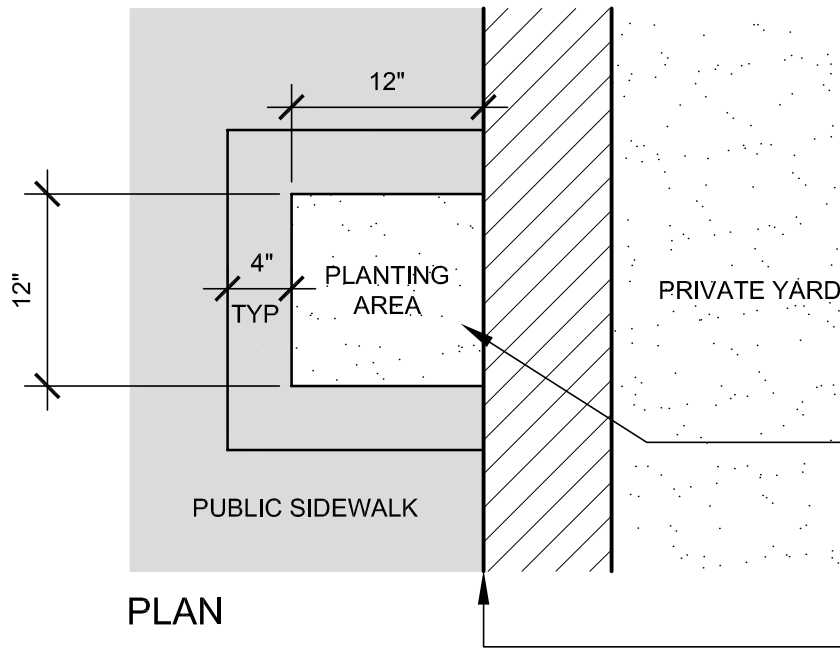
City of Cerritos Standard Wall Detail "G"
 Non-Retaining, Free Standing Condition, Between Two Private Properties
 T-Footing, 30" to 72" Above Grade

SCALE: 1" = 1'-0"

CITY OF CERRITOS
 BUILDING AND SAFETY DIVISION
 18125 BLOOMFIELD AVENUE
 CERRITOS, CA 90703
 PHONE: 562.916.1209

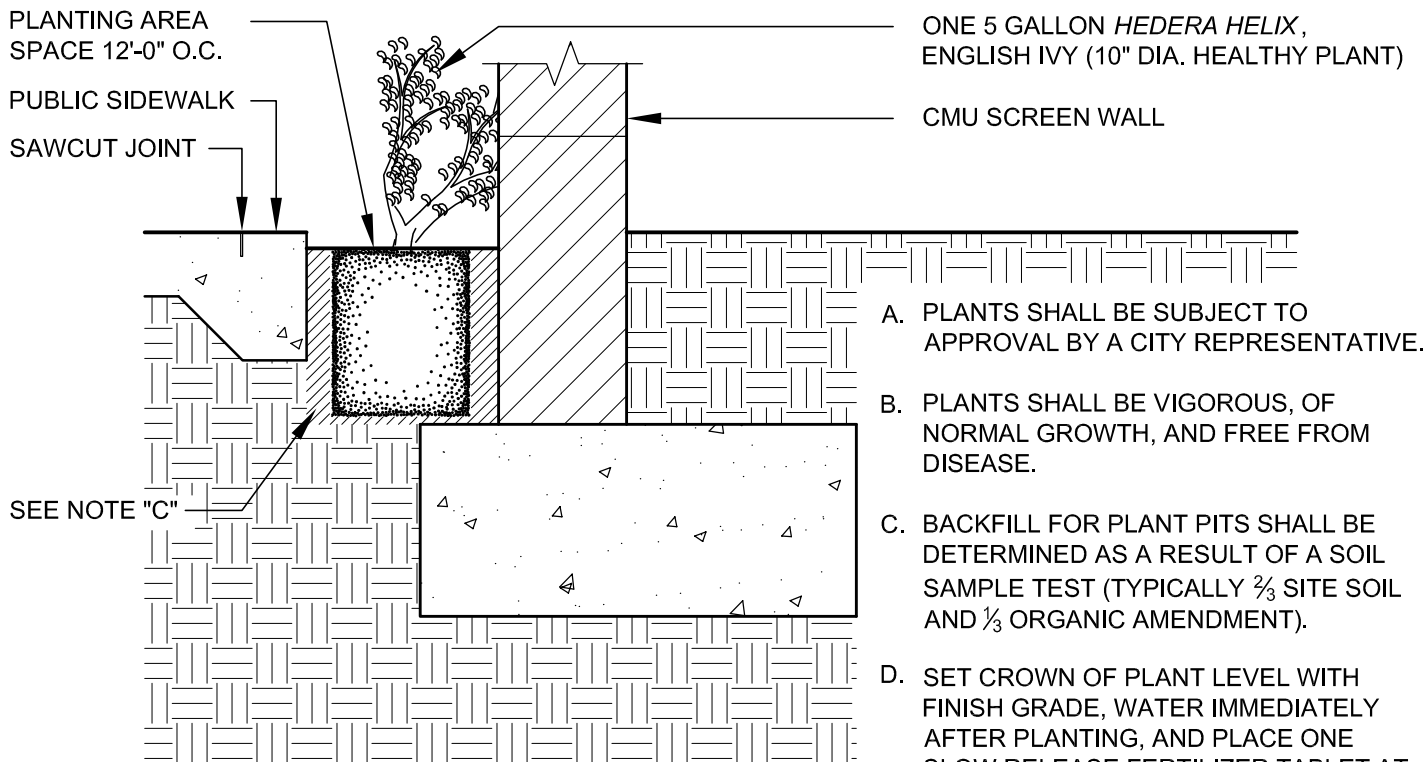


CITY OF CERRITOS
BUILDING AND SAFETY DIVISION
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CERRITOS, CA 90703
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SAWCUT AND REMOVE SQUARE PLANTING AREA IN EXISTING SIDEWALK EVERY 12 FEET OF WALL LENGTH. EDGES TO BE STRAIGHT AND FREE OF CHIPS.

PROPERTY LINE / FACE OF WALL



- A. PLANTS SHALL BE SUBJECT TO APPROVAL BY A CITY REPRESENTATIVE.
- B. PLANTS SHALL BE VIGOROUS, OF NORMAL GROWTH, AND FREE FROM DISEASE.
- C. BACKFILL FOR PLANT PITS SHALL BE DETERMINED AS A RESULT OF A SOIL SAMPLE TEST (TYPICALLY $\frac{2}{3}$ SITE SOIL AND $\frac{1}{3}$ ORGANIC AMENDMENT).
- D. SET CROWN OF PLANT LEVEL WITH FINISH GRADE, WATER IMMEDIATELY AFTER PLANTING, AND PLACE ONE SLOW RELEASE FERTILIZER TABLET AT MIDPOINT OF ROOTBALL.

City of Cerritos Standard Wall Detail "V"
Vine Planting Area

NO SCALE

CITY OF CERRITOS
BUILDING AND SAFETY DIVISION
18125 BLOOMFIELD AVENUE
CERRITOS, CA 90703
PHONE: 562.916.1209

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City of Cerritos
18125 Bloomfield Avenue
Cerritos, CA 90703
(562) 916-1209

**Department of Community
Development**
Building and Safety Division

(For office use only)

Building Permit #: _____
Trade Permit #: _____
Parent Permit#: _____

Building/Plumbing/Electrical/Mechanical Permit Application

Applicant's Name: _____

Company Name (if applicable): _____

Tel. No: _____ Email: _____ Date: _____

Job Site Address: _____ Suite: _____

Work Description: _____

Is this an owner-builder project?

☐ Yes, this is an owner-builder project. As the applicant for an owner-building project, you are required to complete columns 1 and 3 of attached Declaration Form.

Is the job site address your primary residence? ☐ Yes ☐ No (If no, an owner-builder project is not permitted, and the owner must contract exclusively with a licensed contractor.)

☐ No, this is not an owner-builder project. Complete columns 2 and 3 of the attached Declaration Form.

Project Valuation: _____ APN#: _____

Project Size (sq.ft.): _____ Buildings on Lot: _____ # of Stories _____

Construction Types: _____ Occupancy Groups: _____

Type of Permit(s) Requested: ☐ Building ☐ Plumbing ☐ Electrical ☐ Mechanical

☐ **Owner/Business Name:** _____

Street Address: _____

City: _____ State: _____ Zip Code: _____

Telephone Number: _____ Email: _____

☐ **Contractor Name:** _____ **Company:** _____

Street Address: _____

City: _____ State: _____ Zip Code: _____

Telephone Number: _____ Email: _____

License No: _____ Class: _____ Expiration Date: _____

City Business License No: _____ Expiration Date: _____

(Please fill out attached Licensed Contractor's Declaration Form)

☐ **Architect/Engineer Name:** _____ **Company:** _____

Street Address: _____

City: _____ State: _____ Zip Code: _____

Telephone Number: _____

License No: _____ Class: _____ Expiration Date: _____

Building/Plumbing/Electrical/Mechanical Permit Application (continued)

PLUMBING

Code	Items	Units	Code	Items	Units
03	Backwater Valves	___ Valve(s)	45	Water closet/urinal/bidet	___ Fixture(s)
05	Backflow prevention device/sprinkler	___ Device(s)	47	Water heater	___ W.H.(s)
07	Bathtubs/showers	___ Fixture(s)	49	Water treating equipment (filter, softener)	___ System(s)
11	Clothes washer (tray/standpipe)	___ Fixture(s)	51	Low pressure gas sys. (5 outlets or less)	___ System(s)
13	Dishwashers	___ Fixture(s)	52	Fee for additional outlets >5	___ Outlet(s)
15	Drinking fountain	___ Fixture(s)	53	Medium/high pressure gas system	___ System(s)
17	Floor drains	___ Fixture(s)	54	Additional fee for each outlet	___ Outlet(s)
19	Floor sinks	___ Fixture(s)	55	Gas meter (private)	___ Meter(s)
21	Hose bibbs	___ Fixture(s)	56	Gas regulator	___ Reg(s)
23	Interceptor (clarifier)	___ System(s)	60	Drainage/vent piping repair or alter	___ System(s)
25	Lavatories/sinks	___ Fixture(s)	62	Greywater system	___ System(s)
26	Miscellaneous fixture	___ Fixture(s)	63	Water piping replacement branch/fixture	___ Fixture(s)
27	Pressure regulator—prv/water	___ Device(s)	64	Other water piping < 1 1/2 inches	___ Line(s)
29	Roof drains	___ Fixture(s)	65	Other water piping 2-3 inches	___ Line(s)
35	Solar water heating system	___ System(s)	66	Other water piping > 3 inches	___ Line(s)
39	Swimming pool trap and receptor	___ System(s)			
41	Trap primer	___ System(s)			

MECHANICAL

Code	Items	Units	Code	Items	Units
02	Refrig compressor < 100 kbtu	___ Comp(s)	31	Air inlets/outlets (area)	___ Sq. Ft.
03	Refrig compressor 101—500 kbtu	___ Comp(s)	32	Appliance vent (other)	___ Unit(s)
04	Refrig compressor > 500 kbtu	___ Comp(s)	35	Air handling unit < 2000 cfm	___ Ahu(s)
08	Furnace/heater <100 kbtu	___ Unit(s)	36	Air handling unit 2000—10000 cfm	___ Ahu(s)
09	Furnace/heater 101-500 kbtu	___ Unit(s)	37	Air handling unit > 10000 cfm	___ Ahu(s)
10	Furnace/heater > 500 kbtu	___ Unit(s)	40	Evaporative coolers	___ Unit(s)
17	Boiler < 100 kbtu	___ Boiler(s)	41	Ventilation fan (single register)	___ Fan(s)
18	Boiler 101-500 kbtu	___ Boiler(s)	42	Ventilation system (other)	___ System(s)
19	Boiler > 500 kbtu	___ Boiler(s)	43	Commercial kitchen exhaust hoods	___ Hood(s)
20	Fireplace/gas log < 100 kbtu	___ Appl(s)	44	Spray booth	___ Booth(s)
21	Fireplace/gas log 101-500 kbtu	___ Appl(s)	45	Product conveying duct system	___ System(s)
22	Fireplace/gas log > 500 kbtu	___ Appl(s)	46	Fire dampers	___ Damper(s)
30	Air inlets/outlets (each)	___ Unit(s)	47	Alteration of existing duct system	___ System(s)

ELECTRICAL

Code	Items	Quantity	Code	Item	Quantity	Code	Item	Quantity
B1	Residential new bldgs. Multifamily	___ Sq. Ft.	<u>Electric Signs</u>			<u>Motors</u>		
B2	Residential new bldgs. 1 or 2 family	___ Sq. Ft.	K1	Signs, outline lgt, one ckt	___ Sign(s)	JX	Motors, <3hp	___ Mtr(s)
C1	Swimming pools, new	___ Pool(s)	K2	Additnl, ckt within the same sign	___ Sign(s)	JY	Motors, 5hp	___ Mtr(s)
C2	Spas, hot tubs,	___ Pool(s)	<u>Power Equipment Over 3hp and Less Than 10hp</u>			JZ	Motors, 10hp	___ Mtr(s)
C3	Pool alterations, other type pools	___ Pool(s)	JA	Heat pumps	___ Appl(s)	J0	Motors, 15hp	___ Mtr(s)
D1	Carnival electrical rides or gentrs	___ Unit(s)	JB	AC units	___ Appl(s)	J1	Motors, 20hp	___ Mtr(s)
D2	Carnival mech rides, displays w/lgt	___ Unit(s)	JD	Battery chargers	___ Appl(s)	J2	Motors, 25hp	___ Mtr(s)
D3	Carnival booth lighting	___ Unit(s)	JE	Electric water heaters	___ Appl(s)	J3	Motors, 50hp	___ Mtr(s)
E1	Temporary service, power pole	___ Pole(s)	JF	Refrigeration cabinets	___ Appl(s)	J4	Motors, 100hp	___ Mtr(s)
E2	Temporary dist system for const	___ Unit(s)	JG	Electric cooking equipment	___ Appl(s)	<u>Other Power Equipment</u>		
E3	Temp pole for xmas tree lots	___ Pole(s)	JH	Electric heaters	___ Appl(s)	J7	Pwr eq w/rating > 10hp to <50hp	___ Pwr
F1	Branch circuits, 120v, 15 or 20a	___ Ckt(s)	JI	Electric generators	___ Appl(s)	J8	Pwr eq w/rating > 50hp to <100hp	___ Pwr
F2	Branch circuits, lighting, 208-277v	___ Ckt(s)	J6	Other equipment > 3hp—<10hp	___ Appl(s)	J9	Pwr eq w/rating > 100hp	___ Pwr
G1	Outlets-lighting, recept, switch	___ Outlet(s)	<u>Special Electrical Items</u>			<u>Services, Panels, Control Panels, Mcc's</u>		
G2	Lighting fixtures	___ Lgt Ftx(s)	P2	PC residential photo voltaic<10kw	___	LA	100a panels, services, mcc's	___ Pnl(s)
G3	Pole mounting light fixtures	___ Pole Fxt(s)	P3	Inverter res photo volt <10kw	___	LB	200a panels, services, mcc's	___ Pnl(s)
G4	Theatrical-type lgt fixtures	___ Lgt Ftx(s)	P4	PC residential photo volt >10kw<50kw	___	LC	225a panels, services, mcc's	___ Pnl(s)
<u>Residential Appliances Less Than 3hp</u>			P5	Inverter res photo volt >10kw<50kw	___	LD	400a panels, services, mcc's	___ Pnl(s)
HA	Forced air units (FAU)	___ Appl(s)	V2	<=10kw electric vehicle supply equip	___ #Units	LE	600a panels, services, mcc's	___ Pnl(s)
H1	Electrical ovens	___ Appl(s)	V3	>10kw electric vehicle supply equip	___ #Units	LF	800a panels, services, mcc's	___ Pnl(s)
H2	Garbage disposals	___ Appl(s)	V4	Fast electric vehicle supply equip	___ #Units	LG	1000a panels, services, mcc's	___ Pnl(s)
H3	Dishwashers	___ Appl(s)	<u>Transformers</u>			LH	1200a panels, services, mcc's	___ Pnl(s)
H4	Range hoods	___ Appl(s)	JM	Transformers, <3kva	___ Xfmr(s)	LI	1600a panels, services, mcc's	___ Pnl(s)
H5	Washing machines	___ Appl(s)	JN	Transformers, 15kva	___ Xfmr(s)	LJ	2000a panels, services, mcc's	___ Pnl(s)
H7	Exhaust fans	___ Appl(s)	JO	Transformers, 25kva	___ Xfmr(s)	LL	3000a panels, services, mcc's	___ Pnl(s)
H9	Other residential less than 3hp	___ Appl(s)	JQ	Transformers, 37.5kva	___ Xfmr(s)	LM	High voltage panels (over 600v)	___ Pnl(s)
<u>Non Residential Appliances Less Than 3hp</u>			JR	Transformers, 45kva	___ Xfmr(s)	LN	Other panels, 0 to 399 amps	___ Pnl(s)
1A	Exhaust fans	___ Appl(s)	JS	Transformers, 50kva	___ Xfmr(s)	LO	Other panels, 400 to 1000 amps	___ Pnl(s)
1B	Electric water heaters	___ Appl(s)	JT	Transformers, 75kva	___ Xfmr(s)	LP	Other panels, >1000 amps	___ Pnl(s)
1C	Lighted showcases	___ Appl(s)	JU	Transformers, 112.5kva	___ Xfmr(s)	W1	Cable trays, busways (length)	___ Feet
1D	Electric drinking fountains	___ Appl(s)	JV	Transformers, 150kva	___ Xfmr(s)	M1	Misc conduits & conductors	___ Unit(s)
1E	Vending machines	___ Appl(s)	JW	Transformers, 225kva	___ Xfmr(s)	P1	Haz locations >2000 sf total	___ Haz
1F	Laundry machines	___ Appl(s)				R1	Report review fee, # of equip	___ Eq
J5	Other non-res less than 3hp	___ Appl(s)				R2	High voltage report fee, #equip	___ HV Eq

COLUMN 1**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code): Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.)

() I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale.)

() I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code. The Contractor's State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a license Contractor pursuant to the Contractors' State License Law.).

() I am exempt from licensure under the Contractors' State License Law for the following reason:

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Date: _____

Signature of Property Owner or Authorized Agent

COLUMN 2**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ License No. _____

Date _____ Contractor Signature _____

WORKERS' COMPENSATION DECLARATION

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES ARE PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Policy No. _____

____ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____ Expiration Date _____

Name of Agent _____ Phone Number _____

____ I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions

Signature of Applicant

Date

JOB ADDRESS

LOCALITY

COLUMN 3**HAZARDOUS MATERIAL DECLARATION**

Will the applicant or future building occupant handle a hazardous material or a mixture containing a hazardous material equal to or greater than the amount specified on the hazardous material information guide?

Yes ☐ No ☐

Will the intended use of the building by the applicant or future building occupant require a permit for construction or modification from the South Coast Air Quality Management District (SCAQMD)? See permitting checklist for guidelines.

Yes ☐ No ☐

I have read the hazardous materials information guide and the SCAQMD permitting checklist. I understand my requirements under the Los Angeles County Code Title 2, Chapter 220 Sections 220.100 through 220.140 concerning hazardous material reporting and for obtaining a permit from the SCAQMD.

ASBESTOS NOTIFICATION

☐ Notification letter sent to SCAQMD or EPA

☐ I declare that notification of asbestos removal is not applicable to addressed project.

DECLARATION REGARDING CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a Construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code)

Lender's Name

Lender's Address

By my signature below, I certify to each of the following:
I am the property owner or authorized to act on the property owner's behalf.
I have read this application and the information I have provided is correct.
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
I authorize representatives of this county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent

Date

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